

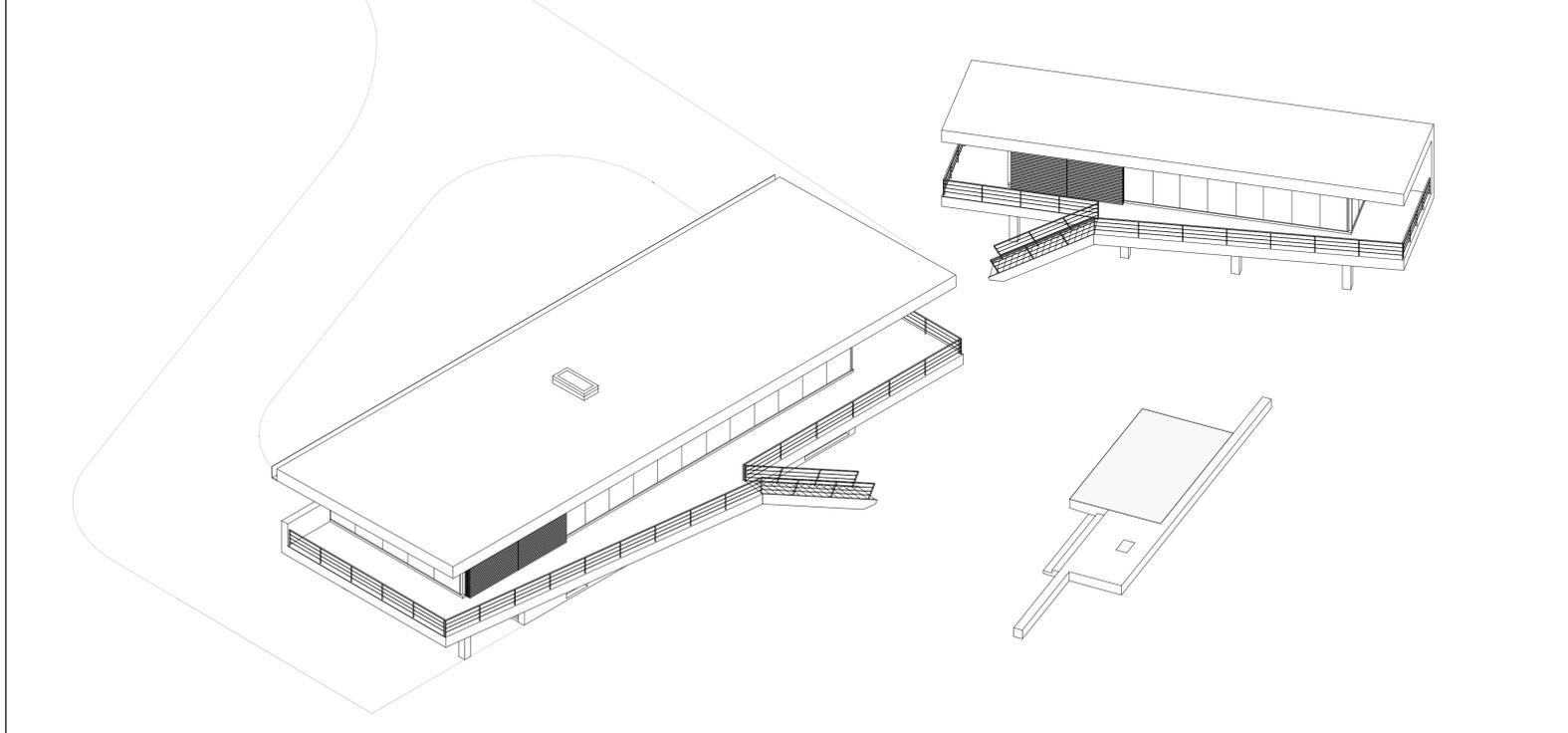
PROJECT DATA	
LOCATION: 130 Little Homer's Pond Rd Lot 4 West Tisbury MA	
DESCRIPTION: Lot 4, +/- 23.7 Acres	
ZONING: #Site Zoning	
AREA SUMMARY:	
MAIN HOUSE	
GROUND FLOOR CONDITIONED SPACE:	1,011 SF
LVL 1 CONDITIONED SPACE:	1,979 SF
TOTAL CONDITIONED SPACE:	2,990 SF
LVL 1 DECK:	1,415 SF
GARAGE:	569 SF
GUEST HOUSE	
LVL 1 CONDITIONED SPACE:	668 SF
LVL 1 DECK:	602 SF
LOT COVERAGE:	
TOTAL LOT COVERED:	
COVERAGE %:	
OCCUPANCY: SINGLE FAMILY RESIDENTIAL	
NOTE: AREAS LISTED ARE PER ARCHITECT'S METHOD FOR CALCULATION, SURVEYORS, APPRAISERS, OFFICIALS, AND OTHERS MAY USE DIFFERENT METHODS THAT MAY RESULT IN DIFFERENT CALCULATIONS.	

SYMBOLS	
	SECTIONS
	F.F. ELEVATION
	WINDOW MARKER
	DOOR MARKER
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DETAIL MARKER
	SCHEDULE KEY MARKER

ABBREVIATIONS	
F.D.	= FINISH DIMENSION OR DIMENSION TO FINISH FACE
U.N.O.	= UNLESS OTHERWISE NOTED
V.I.F.	= VERIFY IN FIELD
TYP.	= TYPICAL
N.I.C.	= NOT IN CONTRACT
F.F.	= FINISHED FLOOR
F.C.	= FINISHED CEILING
T.O.S.	= TOP OF STRUCTURE
B.O.S.	= BOTTOM OF STRUCTURE

DRAWING INDEX	
<input type="radio"/>	ISSUED FOR INFORMATION AND COORDINATION
<input checked="" type="radio"/>	ISSUED FOR CONSTRUCTION
<input type="radio"/>	A1.1 GENERAL INFORMATION
<input type="radio"/>	A1.2 SITE PLAN
<input checked="" type="radio"/>	A1.3 ENLARGED SITE PLAN
<input checked="" type="radio"/>	A2.1 SLAB PLAN_MAIN HOUSE
<input checked="" type="radio"/>	A2.2 ROOF PLAN_MAIN HOUSE
<input checked="" type="radio"/>	A2.3 GROUND FLOOR PLAN_MAIN HOUSE
<input checked="" type="radio"/>	A2.4 1ST FLOOR PLAN_MAIN HOUSE
<input checked="" type="radio"/>	A2.5 GROUND FLOOR RCP_MAIN HOUSE
<input checked="" type="radio"/>	A2.6 1ST FLOOR RCP_MAIN HOUSE
<input checked="" type="radio"/>	A2.7 ENLARGED PLANS_MAIN HOUSE
<input checked="" type="radio"/>	A2.8 ENLARGED PLANS_MAIN HOUSE
<input checked="" type="radio"/>	A2.9 ENLARGED PLANS_MAIN HOUSE
<input checked="" type="radio"/>	A2.10 SLAB + ROOF PLANS_GUEST HOUSE
<input checked="" type="radio"/>	A2.11 FLOOR PLANS_GUEST HOUSE
<input checked="" type="radio"/>	A2.12 RCP_GUEST HOUSE
<input checked="" type="radio"/>	A3.1 EXTERIOR ELEVATIONS_MAIN HOUSE
<input checked="" type="radio"/>	A3.2 EXTERIOR ELEVATIONS_GUEST HOUSE
<input checked="" type="radio"/>	A3.3 EXTERIOR ELEVATIONS + SHUTTERS
<input checked="" type="radio"/>	A4.1 SECTIONS_MAIN HOUSE
<input checked="" type="radio"/>	A4.2 SECTIONS_MAIN HOUSE
<input checked="" type="radio"/>	A4.3 SECTIONS_MAIN HOUSE
<input checked="" type="radio"/>	A4.4 SECTIONS_GUEST HOUSE
<input checked="" type="radio"/>	A5.1 INTERIOR ELEVATIONS
<input checked="" type="radio"/>	A5.2 INTERIOR ELEVATIONS
<input checked="" type="radio"/>	A6.1 STAIR DETAILS
<input checked="" type="radio"/>	A6.2 SHUTTER DETAILS
<input checked="" type="radio"/>	A6.3 DETAILS
<input checked="" type="radio"/>	A6.4 DETAILS
<input checked="" type="radio"/>	A6.5 DETAILS
<input checked="" type="radio"/>	A6.6 DETAILS
<input type="radio"/>	A7.1 WINDOW + DOOR SCHEDULE
<input type="radio"/>	A7.2 WINDOW + DOOR SCHEDULE
<input type="radio"/>	A7.3 FINISH SCHEDULE
<input type="radio"/>	A7.4 PLUMBING SCHEDULE
<input type="radio"/>	A8.1 GROUND FLOOR FINISH PLAN_MAIN HOUSE
<input type="radio"/>	A8.2 FIRST FLOOR FINISH PLAN_MAIN HOUSE
<input type="radio"/>	A8.3 FINISH PLAN_GUEST HOUSE
<input type="radio"/>	A8.4 HVAC COORD_MAIN HOUSE

VERY IMPORTANT GENERAL NOTES	
ALL NOTES IN THESE DOCUMENTS ARE IMPORTANT.	
THE PURPOSE OF THESE DOCUMENTS IS TO FACILITATE CONSTRUCTION BY EXPRESSING THE DESIGN CONCEPT OF THE BUILDING THROUGH ILLUSTRATION, AS WELL AS SPECIFY MINIMUM PERFORMANCE STANDARDS. THESE DOCUMENTS ARE NOT INSTRUCTIONS FOR CONSTRUCTING THE BUILDING, BUT AN EXPRESSION OF DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONSTRUCT THE BUILDING SO THAT ALL OF ITS SYSTEMS FUNCTION PROPERLY. THIS INCLUDES BUT IS NOT LIMITED TO ROOFS, WINDOWS, DOORS, ELECTRICAL, MECHANICAL, PLUMBING, DRAINAGE, STRUCTURE, AND FINISHES. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONSTRUCT THE BUILDING SO THAT IT CONFORMS TO THE DESIGN INTENT EXPRESSED HEREIN.	
IN ADDITION TO THESE DRAWINGS AND SPECIFICATIONS, ALL CONTRACTS AND DOCUMENTS SHALL COMPRISE THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT. ALL STANDARDS, REGULATIONS, LAWS, ORDINANCES AND BUILDING CODES IN FORCE AT THE TIME OF BUILDING CONSTRUCTION SHALL APPLY.	
CONTRACTOR TO VERIFY ALL DESIGN IS COMPLIANT W/ APPLICABLE CODES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ARCHITECT OF ANY REQUIRED DESIGN REVISIONS FOR COMPLIANCE PRIOR TO CONSTRUCTION.	
CONTRACTOR TO VERIFY DIMENSIONS OF ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.	
ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK BEING PERFORMED OR MATERIALS BEING ORDERED.	
COORDINATE LOCATIONS OF CONNECTIONS TO HOUSE OF ANY HOSE BIBBS, UTILITY LINES/ METERS, OR ELECTRICAL PANELS WITH ARCHITECT PRIOR TO INSTALLATION.	
IMPORTANT NOTE: DO NOT LOCATE ANY EQUIPMENT, METERS, HOOK-UPS, ETC. ON THE STREET FACING FACADE OF THE BUILDING OR IN THE FRONT YARD WITHOUT APPROVAL FROM ARCHITECT.	
DURING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL BUILDING COMPONENTS FROM BOTH VISIBLE AND CONCEALED DAMAGE. THIS INCLUDES PROTECTION FROM MOISTURE DAMAGE AND MOLD. DURING CONSTRUCTION, THE CONTRACTOR WILL ALSO PROTECT ALL BUILDING COMPONENTS FROM THEFT. AT THEIR COST, CONTRACTOR WILL REMEDY, REPAIR, OR REPLACE ANY DAMAGED OR STOLEN ITEMS.	
GENERAL CONTRACTORS AND ALL SUB-CONTRACTORS SHALL HAVE EXTENSIVE BUILDING EXPERIENCE IN THEIR RESPECTIVE TRADE. GENERAL CONTRACTOR TO COORDINATE WORK OF ALL SUB-CONTRACTORS TO MEET DESIGN INTENT. A THOROUGH UNDERSTANDING OF READING ARCHITECTURAL DRAWINGS IS A PRE-REQUISITE FOR DETERMINING DESIGN INTENT.	
THIS SET IS INTENDED FOR PERMIT APPLICATION. ARCHITECT WILL PROVIDE ADDITIONAL DETAILS AND COORDINATION PRIOR TO CONSTRUCTION. DO NOT BEGIN CONSTRUCTION UNTIL THESE ADDITIONAL DRAWINGS ENTITLED "SUPPLEMENTAL CONTRACT DOCUMENTS" ARE RECEIVED.	
IF DESIGN INTENT IS NOT CLEAR, CONTRACTOR SHALL SUBMIT REQUEST FOR CLARIFICATION / INFORMATION TO ARCHITECT.	
EVERY SHEET IN THIS SET IS RELEVANT TO THIS PROJECT AND MAY PERTAIN TO ANY TRADE. USING ONLY PORTIONS OF THIS SET FOR CONSTRUCTION MAY RESULT IN A MISUNDERSTANDING OF THE DESIGN INTENT.	
ENGINEER TO DESIGN (OR CONTRACTOR [OR SUB-CONTRACTORS UNDER CONTRACT WITH CONTRACTOR] ARE TO DESIGN/BUILD) FINAL FRAMING, FOUNDATION, POOL, HVAC SYSTEM, ELECTRICAL SYSTEM, COMPLETE ROOF AND ROOF DRAINAGE SYSTEM, SITE DRAINAGE SYSTEM, SUBTERRANEAN DRAINAGE SYSTEM, ALL UTILITY SYSTEMS, AND SURFACE DRAINAGE SYSTEM TO BE COMPATIBLE WITH THE DESIGN INTENT ILLUSTRATED IN THESE DOCUMENTS. VIA SHOP DRAWINGS OR OTHER GRAPHIC COMMUNICATION FORMS, CONTRACTOR TO SUBMIT DESIGNS FOR THESE SYSTEMS AND OTHER CUSTOM ELEMENTS (INCLUDING BUT NOT LIMITED TO GLAZING, VENEER, CABINETS, TILE AND STONE) TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. ALL CONSTRUCTION DETAILS FOR THESE SYSTEMS AND OTHER BUILDING COMPONENTS HAVING AESTHETIC OR PERFORMANCE IMPLICATIONS NOT ALREADY SHOWN IN THESE DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY SYSTEM THEY ARE NOT WILLING TO DESIGN (REQUIRING 3RD PARTY CONSULTANT OR ENGINEER TO DESIGN) PRIOR TO CONSTRUCTION.	
CONTRACTOR TO DETERMINE WHEN ENGINEERING IS NECESSARY	
SCALES MAY BE INACCURATE DO TO VARYING PRINTING METHODS. DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS. LIGHT FIXTURES, HVAC SUPPLY AND RETURN AIR DEVICES, POWER, TELEPHONE, AND VIDEO OUTLETS MAY NOT BE DIMENSIONED IN PLANS BUT THE DESIRED LOCATIONS OF THE ABOVE ARE ACCURATELY INDICATED ON THESE PLANS, I.E. IF A DEVICE IS GRAPHICALLY SHOWN AS BEING CENTERED ON A WALL IT SHALL BE PLACED ACCORDINGLY.	
EXTERIOR DIMENSIONS ARE TO FRAMING UNLESS INDICATED OTHERWISE. INTERIOR DIMENSIONS ON FLOOR PLANS ARE TO THE FACE OF FRAMING MEMBERS UNLESS INDICATED OTHERWISE. DIMENSIONS ON ENLARGED PLANS, ELEVATIONS, AND DETAILS MAY BE TO FINISHED SURFACES OR FRAMING MEMBERS.	
GENERAL CONTRACTOR SHALL FURNISH SAMPLES TO THE ARCHITECT OF ALL VISUAL MATERIALS, AND FINISHES, INTENDED FOR USE IN THE WORK BEFORE THE COMMENCEMENT OF THE SPECIFIED WORK.	
FOR COORDINATION PURPOSES, GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING LOCATIONS OF ALL VISIBLE OBJECTS/DEVICES NOT SHOWN IN THESE DRAWINGS. THIS INCLUDES FIRE PROTECTION DEVICES. THE FINAL LOCATIONS OF ALL SUCH DEVICES ARE SUBJECT TO THE ARCHITECT'S REVIEW AND APPROVAL. THE LIST OF DEVICES INCLUDES BUT IS NOT LIMITED TO FIRE PROTECTION AND LIFE SAFETY SYSTEMS.	
ALL FLOOR MATERIALS TO BE FINISHED FLUSH. NOTIFY ARCHITECT PRIOR TO CONSTRUCTION IF THERE ARE ANY ISSUES (SUCH AS SLAB OR DECK RECESSES) WITH ACHIEVING THIS REQUIREMENT.	
SUBMIT SAMPLE OF ALL UNIQUE FINISHES. TO OWNER AND ARCHITECT FOR APPROVAL INCLUDING BUT NOT LIMITED TO DRYWALL FINISH, PAINT, AND TILE. PROVIDE A MOCK-UP OF ALL UNIQUE EXTERIOR AND INTERIOR FINISHES FOR APPROVAL. SUBMIT A CUTSHEET WITH PICTURE OF ALL VISIBLE HARDWARE, FIXTURES, DEVICES, AND FITTINGS TO OWNER FOR APPROVAL.	
ALL WALLS AND CEILINGS SHALL BE PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.	
UNLESS NOTED OTHERWISE, ALL GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A FINISH LEVEL OF LEVEL 4 AS DEFINED BY USG HANDBOOK, CHAPTER 5 "LEVELS OF GYPSUM BOARD FINISHING", OR GA-214-96 "RECOMMENDED LEVELS OF GYPSUM BOARD FINISHING" SEE GYPSUM BOARD LEVEL 4 FINISHING MATRIX, BELOW.	
GYPSUM BOARD LEVEL 4 FINISHING MATRIX	
ALL WALLS AND CEILINGS SHALL BE PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.	
ALL GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A FINISH LEVEL OF LEVEL 4 AS DEFINED BY USG HANDBOOK, CHAPTER 5 "LEVELS OF GYPSUM BOARD FINISHING", OR GA-214-96 "RECOMMENDED LEVELS OF GYPSUM BOARD FINISHING" UNLESS APPROVED OTHERWISE BY OWNER.	
FINAL APPEARANCE:	
SURFACE	
NO MARKS OR RIDGES. READY FOR PRIMING, FOLLOWED BY WALL COVERINGS, FLAT PAINTS OR LIGHT TEXTURES	
PAINT SHALL BE FLAT FINISH ON WALLS AND CEILINGS AND SATIN FINISH ON ANY PAINTED WOOD OR MDF TRIM. U.N.O.	
ALL WALLS AND CEILINGS SHALL HAVE A SMOOTH PAINT FINISH WITHOUT APPLIED TEXTURE. SPRAYING AND BACKROLLING WITH A FINE NAP ROLLER IS PERMISSIBLE UPON THE ARCHITECTS APPROVAL OF THE FINAL FINISH.	
ANY TRANSITIONS NECESSITATED BY DISSIMILAR MATERIALS SHALL BE TREATED IN A MANNER TO ACHIEVE A SMOOTH AND GENTLE CONDITION THAT MEETS ANY APPLICABLE CODE OR REGULATION.	
LAVATORY AND KITCHEN COUNTER TOPS SHALL BE FABRICATED WITH SQUARE EDGES, UNLESS NOTED OTHERWISE HEREIN. ACCEPTABLE SEAMING LOCATIONS ARE INDICATED ON THE DRAWINGS.	
MATERIAL TRANSITIONS BETWEEN ROOMS SHOULD BE MADE AT THE CENTER LINE OF THE DOOR SEPARATING THE SPACES UNLESS NOTED OTHERWISE	
IF WALL AND ADJACENT FLOOR TILES WILL COURSE, ALL FLOOR AND WALL GROUT JOINTS TO ALIGN.	
SOME CLOSETS RECEIVE SYSTEMS PROVIDED BY OTHERS. THESE PLANS IDENTIFY THE LOCATIONS OF THESE SYSTEMS. OTHER CLOSETS SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS CONTAINED HEREIN.	
ALL DEVICES SHALL BE INSTALLED ON THE CEILINGS AND/OR WALLS IN AN ORDERLY MANNER AS INDICATED ON THESE DRAWINGS. DEVICES THAT ARE REQUIRED BUT NOT SHOWN ON THESE DRAWINGS SHALL BE INSTALLED IN THE SAME MANNER AND COORDINATED WITH THE LOCATIONS OF ADJACENT DEVICES. CONTRACTOR TO SUBMIT THE PROPOSED LOCATIONS OF ANY SUCH DEVICES TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLING SAID DEVICES. THIS NOTE APPLIES TO ACCESS PANELS, SPRINKLER HEADS, AS WELL AS ALL LIFE SAFETY DEVICES.	
ALL MILLWORK REVEALS AND OPEN JOINTS TO BE 1/8" UNLESS INDICATED OTHERWISE.	
ALL OTHER REVEALS ARE TO BE 1/4" UNLESS INDICATED OTHERWISE.	
ANY REQUIRED JOINTS OR TRANSITIONS NOT SHOWN ON THESE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.	
ACOUSTICAL BATT-TYPE INSULATION SHALL BE INSTALLED IN PARTITION WALLS SEPARATING BEDROOMS FROM BATHROOMS, COMMON ROOMS.	
CONTRACTOR TO SUBMIT CONSTRUCTION DETAILS FOR ALL UNIQUE CONDITIONS AT POOL AREA TO ARCHITECT FOR REVIEW.	
FOR ANY VISIBLE DEVICE, GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OR CATALOGUE SHEETS TO THE ARCHITECT FOR HIS REVIEW AND APPROVAL PRIOR TO PURCHASE. GENERAL CONTRACTOR SHALL ALLOW THE ARCHITECT 2 WEEKS FROM THE DATE OF THE ARCHITECT'S RECEIPT OF THE SUBMITTAL TO PROCESS THE SUBMITTAL.	
FOR ANY ADDITIONAL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION THAT ARE NOT SHOWN IN THESE DRAWINGS, CONTRACTOR SHALL SUBMIT LOCATION TO ARCHITECT FOR APPROVAL OR REQUEST THAT ARCHITECT SPECIFY LOCATION.	
FOR ANY ADDITIONAL DEVICES THAT MAY BE REQUIRED FOR CONSTRUCTION THAT ARE NOT SHOWN IN THESE DRAWINGS, CONTRACTOR SHALL SUBMIT LOCATION TO ARCHITECT FOR APPROVAL OR REQUEST THAT ARCHITECT SPECIFY LOCATION.	
INSULATION SHALL AT MINIMUM MEET CODE REQUIREMENTS, 3RD PARTY ENERGY RATER REQUIREMENTS, OR R-21 AT WALLS AND R-38 AT ROOF; WHICHEVER IS GREATEST SHALL GOVERN THE MINIMUM REQUIRED. ALL INSULATION TO BE SPRAY IN. SUBMIT SPECIFICATIONS TO OWNER AND ARCHITECT FOR APPROVAL.	
SCHEDULES PROVIDED IN THESE DRAWINGS MAY NOT LIST ALL PARTS/ACCESSORIES REQUIRED FOR PROPER INSTALLATION AND/OR USE OF ITEMS MENTIONED. CONTRACTOR SHOULD PROVIDE THESE PARTS/ACCESSORIES AFTER SUBMITTING TO ARCHITECT FOR APPROVAL.	
CONTRACTOR TO ENSURE THAT GLASS SPECIFICATIONS MEET ALL CODE REQUIREMENTS AND 3RD PARTY ENERGY RATER REQUIREMENTS.	
SUBMIT FINAL MECHANICAL, PLUMBING, AND FIXTURE LOCATIONS AND DIMENSIONS TO ARCHITECT FOR REVIEW; INCLUDING BUT NOT LIMITED TO FAUCETS, LIGHTING AND ELECTRICAL FIXTURES. PRIOR TO SENDING, THESE LOCATIONS AND DIMENSIONS SHOULD BE COORDINATED WITH OTHER BUILT ELEMENTS SUCH AS WALLS, FINISHES, AND CABINETS TO ENSURE PROPER FUNCTIONALITY.	



NIMMO
NIMMO.AM | 972.360.3160

West Tisbury
130 Little Homer's Pond Rd Lot 4
West Tisbury, MA

NOT FOR CONSTRUCTION

CONSULTANTS
VINEYARD LAND SURVEYING + ENGINEERING INC
Cody Coutinho
12 Cournoyer RD
West Tisbury, MA 02575
(508) 693-3774
cody@vlse.net

GENERAL CONTRACTOR

OWNER

ISSUE
BID SET
7/20/2021

REVISIONS

A1.1
GENERAL INFORMATION

West Tisbury
130 Little Homer's Pond Rd Lot 4
West Tisbury, MA



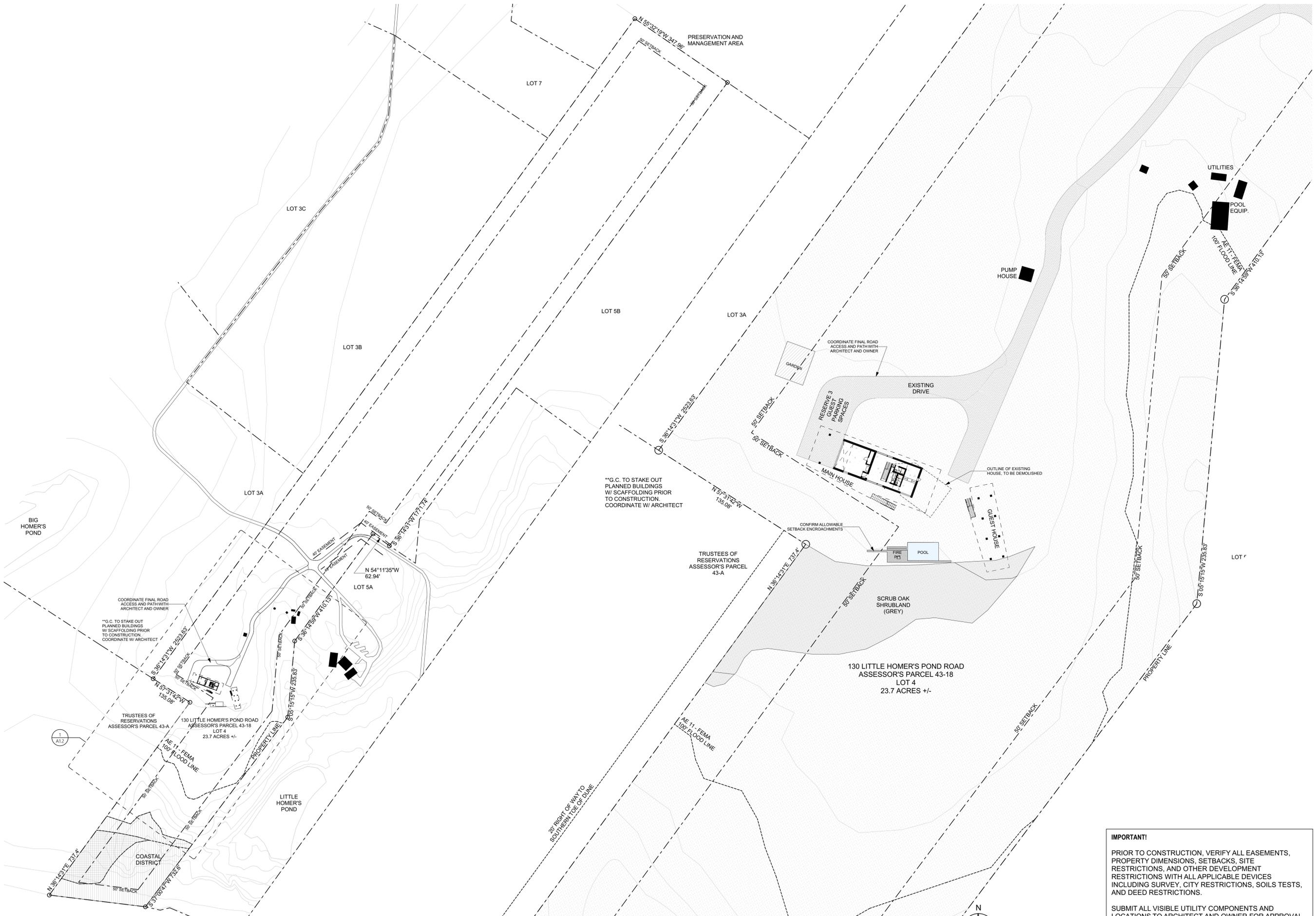
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IMPORTANT!
PRIOR TO CONSTRUCTION, VERIFY ALL EASEMENTS, PROPERTY DIMENSIONS, SETBACKS, SITE RESTRICTIONS, AND OTHER DEVELOPMENT RESTRICTIONS WITH ALL APPLICABLE DEVICES INCLUDING SURVEY, CITY RESTRICTIONS, SOILS TESTS, AND DEED RESTRICTIONS.
SUBMIT ALL VISIBLE UTILITY COMPONENTS AND LOCATIONS TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION

2 SITE PLAN
SCALE: 1/128" = 1'-0"

1 SITE PLAN ENLARGEMENT
SCALE: 1/32" = 1'-0"

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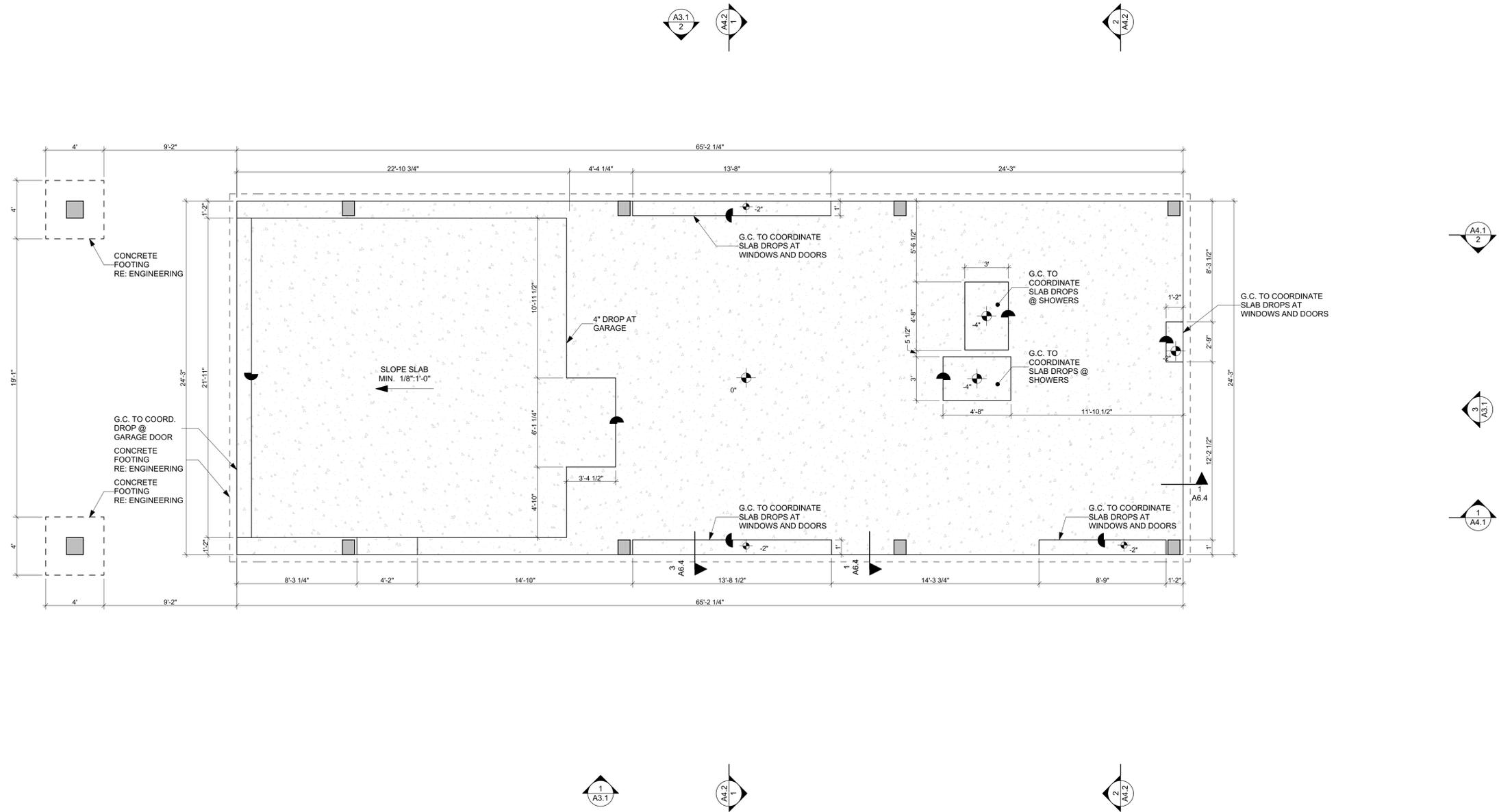
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1 MAIN HOUSE SLAB PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS A PROPOSED SLAB PLAN. VENEER IS TO BE DETERMINED AND MAY IMPACT SLAB RECESSES. CONTRACTOR TO COORDINATE ACTUAL RECESS DIMENSIONS WITH GLAZING SYSTEM SPECIFICATIONS, SITE DRAINAGE DESIGN, ARCHITECTURAL DESIGN, AND SITE SETBACK/ZONING REQUIREMENTS. ARCHITECT WILL PROVIDE FINISH DIMENSIONS AS REQUIRED.

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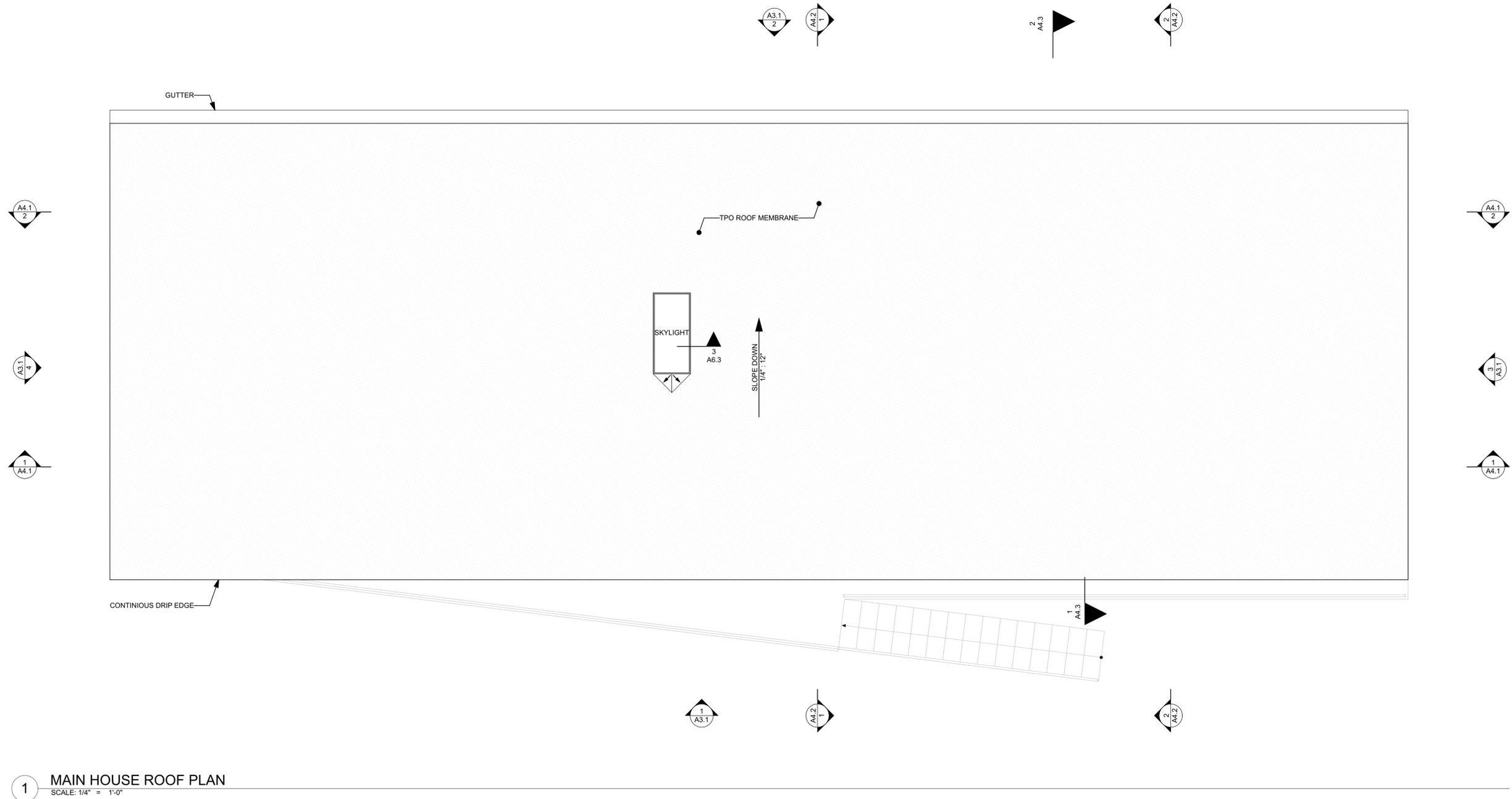
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1 MAIN HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"



IMPORTANT: CONTRACTOR OR ROOFING SUBCONTRACTOR TO PROVIDE ALL ROOF DETAILS REQUIRED FOR PROPER PERFORMANCE AND WARRANTY COMPLIANCE. ROOF AND FLASHING TO BE INSTALLED IN A MANNER WHICH AVOIDS ANY LEAKING. SUBMIT DETAILS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

SUBMIT ALL LOCATIONS AND SPECS FOR ROOF PENETRATIONS TO ARCHITECT FOR APPROVAL; INCLUDING BUT NOT LIMITED TO ROOF VENTS

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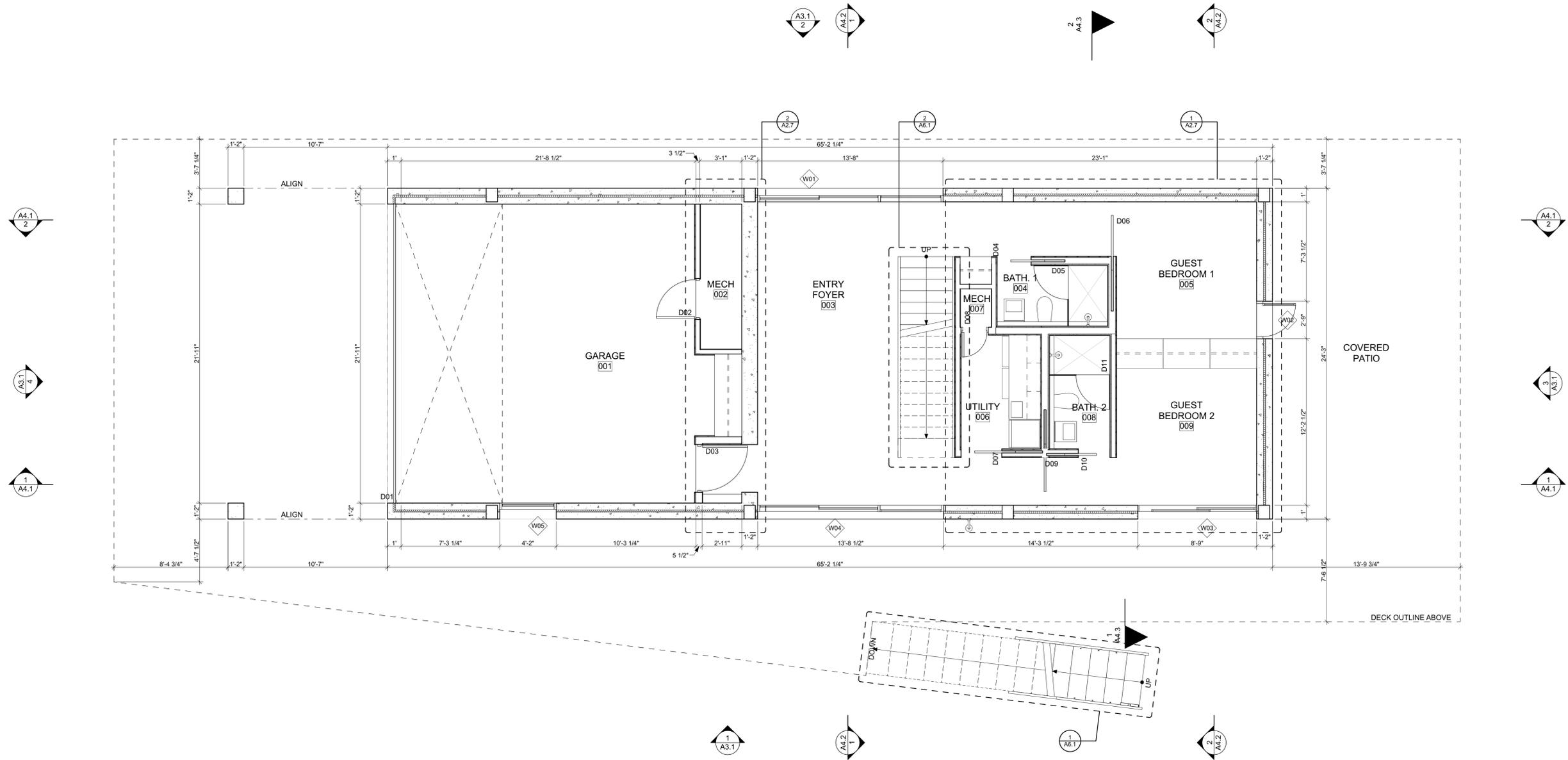
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1 MAIN HOUSE GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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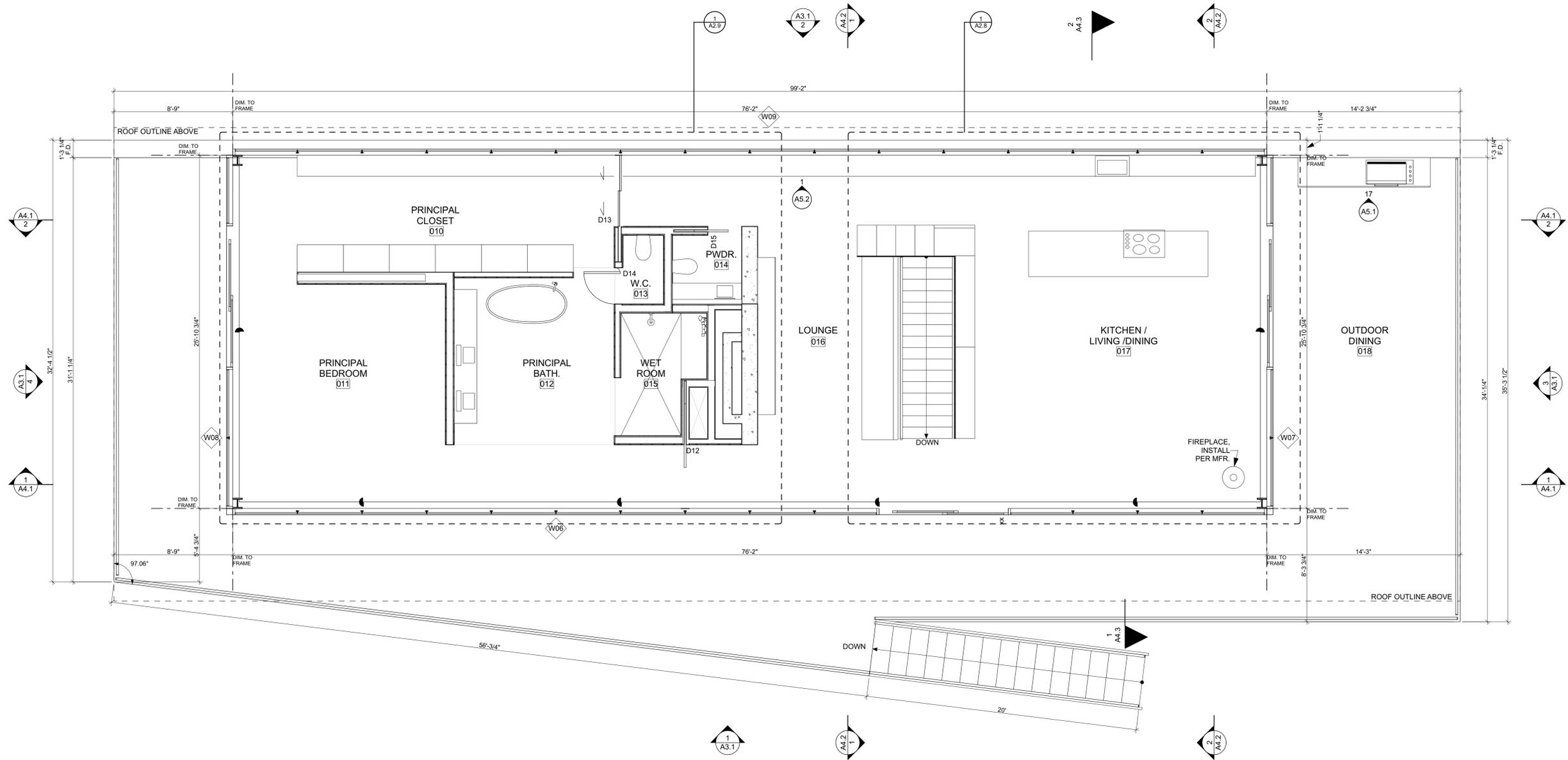
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1 MAIN HOUSE LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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ENGINEERING INC**

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12 Courmoyer RD
West Tisbury, MA 02575
(508) 693-3774
cody@vlse.net

GENERAL CONTRACTOR

OWNER

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REVISIONS

ELECTRICAL LEGEND		LIGHTING LEGEND	
	OUTLET		ADJ. RECESSED DOWNLIGHT
	GFCI OUTLET		RECESSED DOWNLIGHT
	WEATHERPROOF OUTLET		RECESSED DOWNLIGHT - WET RATED
	FLOOR OUTLET		FANLIGHT COMBO - WET RATED
	APPLIANCE/EQUIPMENT OUTLET		MONOPOINT
	TV OUTLET		WALL MOUNTED SCENCE
	DATA		WALL MOUNTED SCENCE - EXTERIOR
	TOILET EXHAUST FAN		LINEAR STRIP LIGHT
	SMOKE DETECTOR/CARBON MONOXIDE		PENDANT
	THERMOSTAT		J-BOX CONNECTION
			WALL HUNG ARM LAMP
			CEILING FAN
			EXTERIOR EMBEDDED WALL LIGHTS



1 MAIN HOUSE GROUND FLOOR RCP
SCALE: 1/4" = 1'-0"



IMPORTANT: REQUIRED OUTLETS AND FIXTURES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY OUTLET AND FIXTURE QUANTITIES AND LOCATIONS FOR CODE COMPLIANCE.

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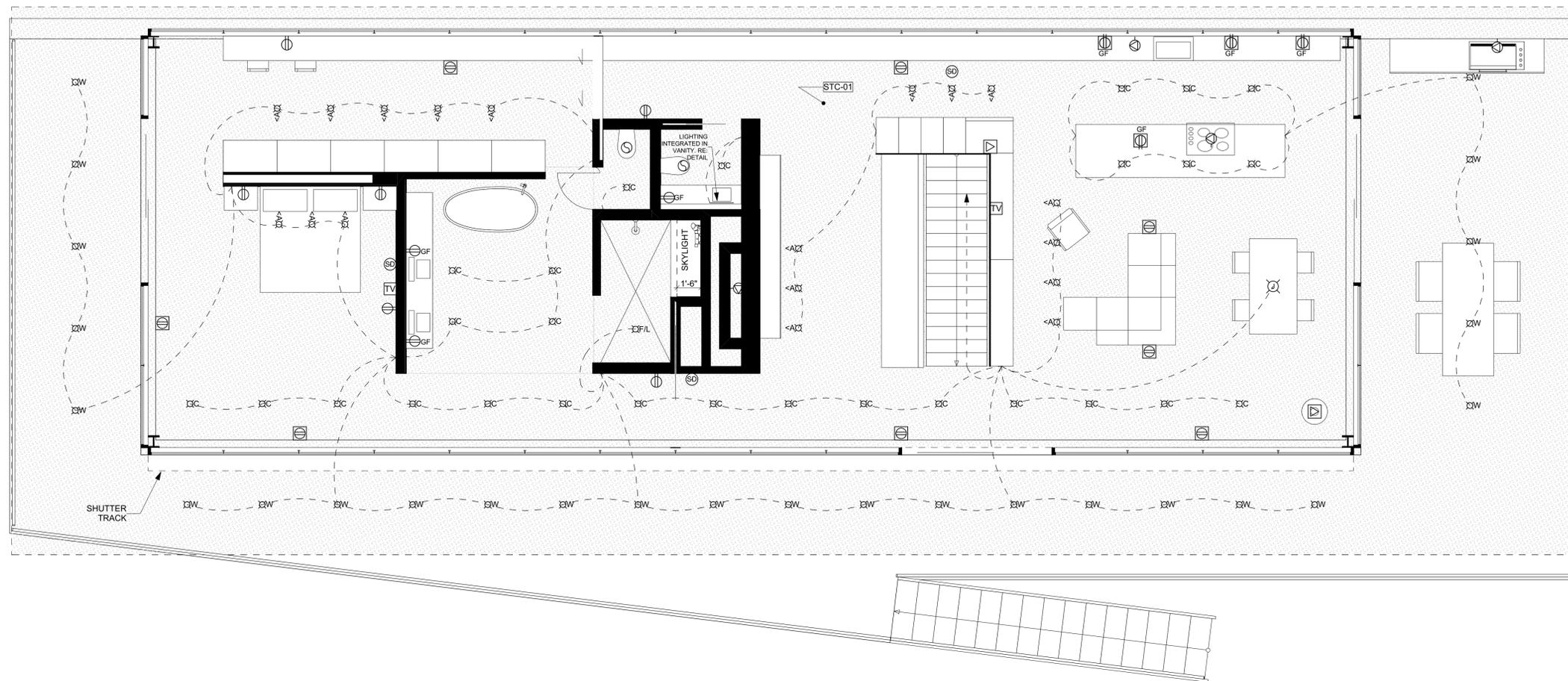
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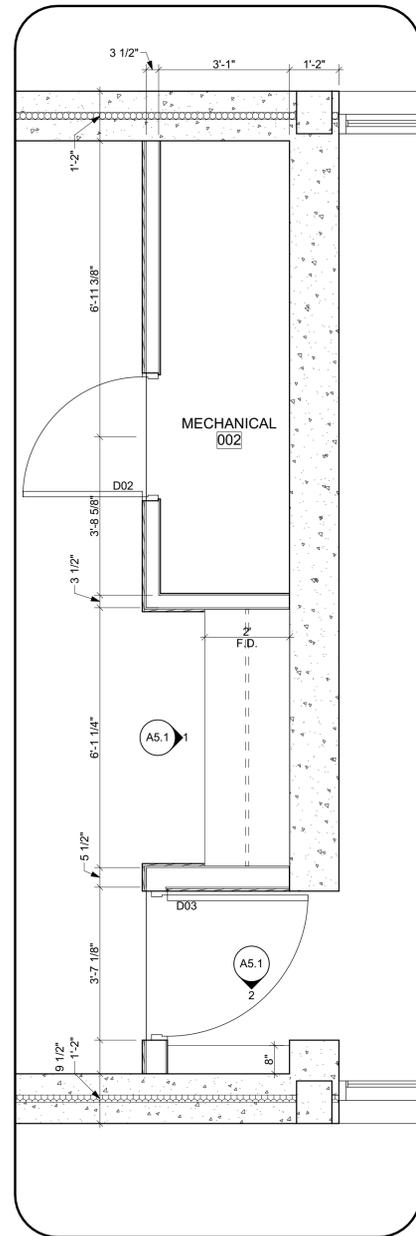
ELECTRICAL LEGEND		LIGHTING LEGEND	
	OUTLET		ADJ. RECESSED DOWNLIGHT
	GFCI OUTLET		RECESSED DOWNLIGHT
	WEATHERPROOF OUTLET		RECESSED DOWNLIGHT - WET RATED
	FLOOR OUTLET		FANLIGHT COMBO - WET RATED
	APPLIANCE/EQUIPMENT OUTLET		MONOPOINT
	TV OUTLET		WALL MOUNTED SCENCE
	DATA		WALL MOUNTED SCENCE - EXTERIOR
	TOILET EXHAUST FAN		LINEAR STRIP LIGHT
	SMOKE DETECTOR/CARBON MONOXIDE		PENDANT
	THERMOSTAT		J-BOX CONNECTION
			WALL HUNG ARM LAMP
			CEILING FAN
			EXTERIOR EMBEDDED WALL LIGHTS



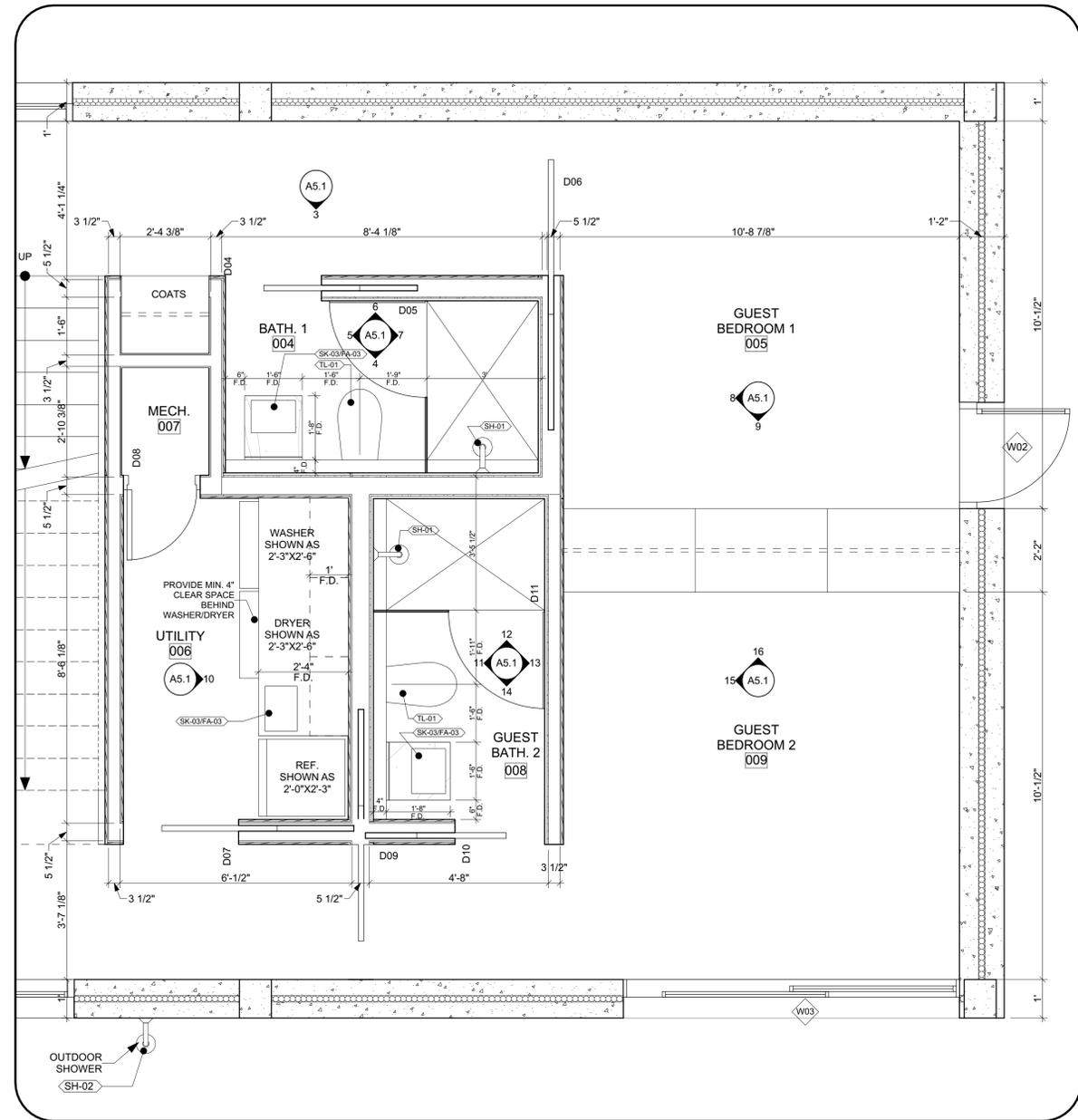
1 MAIN HOUSE LEVEL 1 RCP
SCALE: 1/4" = 1'-0"



IMPORTANT: REQUIRED OUTLETS AND FIXTURES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY OUTLET AND FIXTURE QUANTITIES AND LOCATIONS FOR CODE COMPLIANCE.



2 GARAGE/ENTRY BUILT IN
SCALE: 1/2" = 1'-0"



1 UTILITY/GUEST BED
SCALE: 1/2" = 1'-0"

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NOT FOR CONSTRUCTION

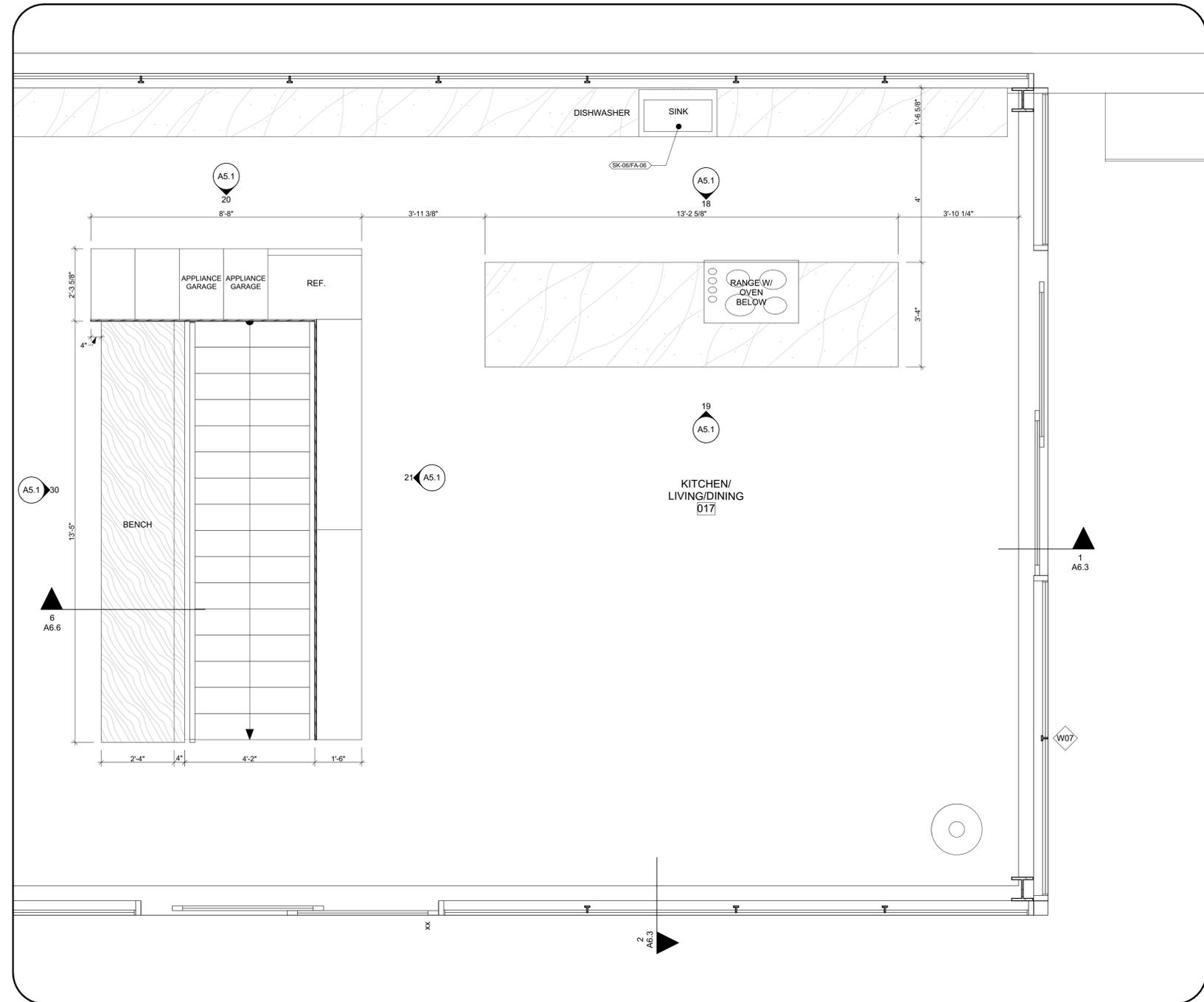
CONSULTANTS
**VINEYARD LAND SURVEYING +
ENGINEERING INC**
Cody Coutinho
12 Courmoyer RD
West Tisbury, MA 02575
(508) 693-3774
cody@vlse.net

GENERAL CONTRACTOR

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1 KITCHEN
SCALE: 1/2" = 1'-0"

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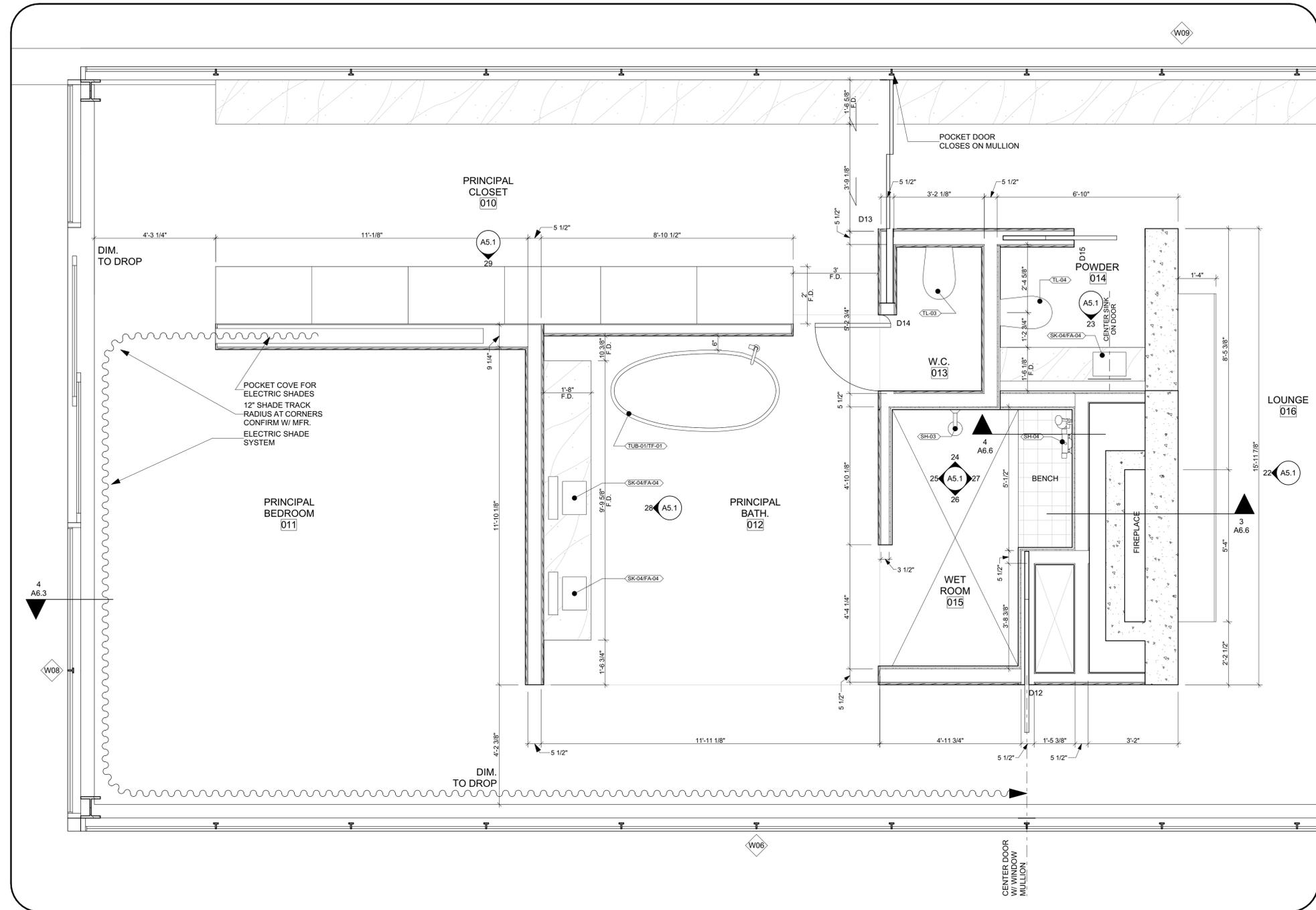
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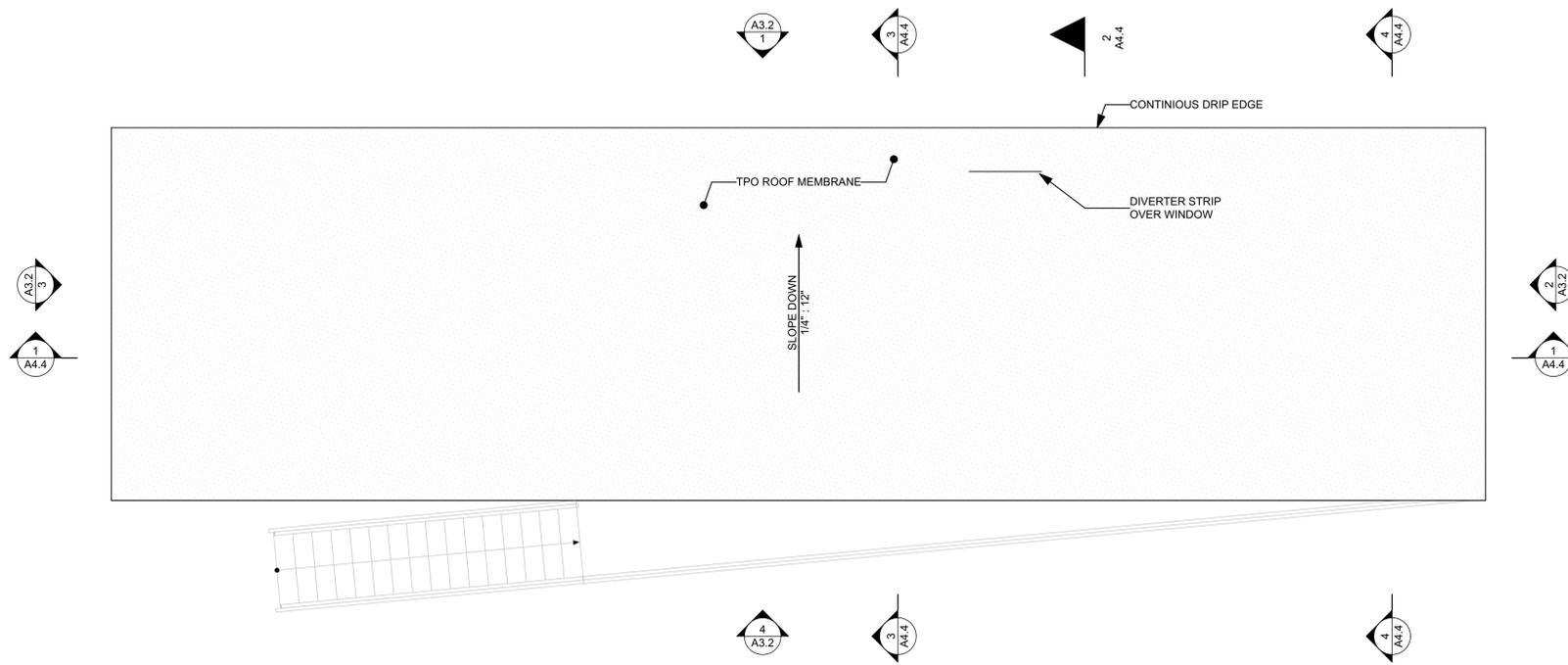


1 PRINCIPAL SUITE
SCALE: 1/2" = 1'-0"

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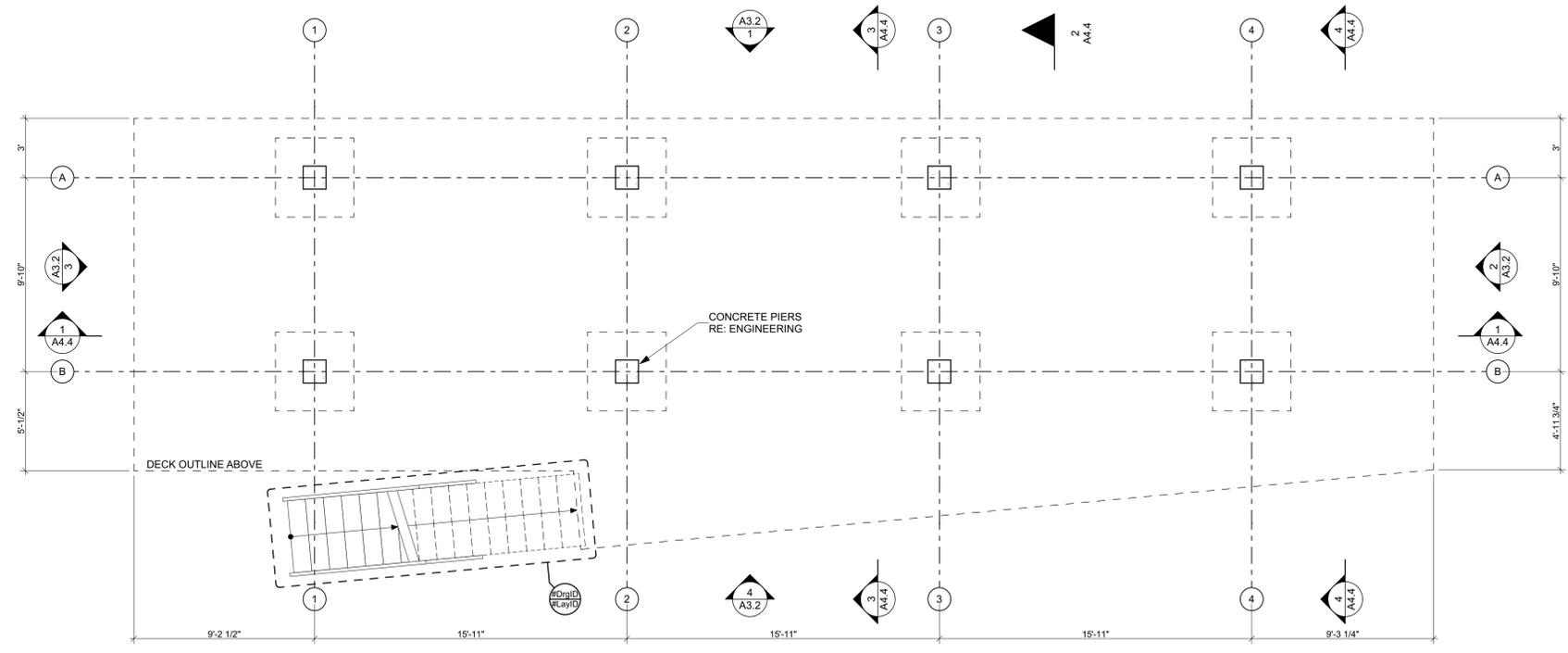
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**IMPORTANT: CONTRACTOR OR ROOFING
SUBCONTRACTOR TO PROVIDE ALL ROOF DETAILS
REQUIRED FOR PROPER PERFORMANCE AND WARRANTY
COMPLIANCE. ROOF AND FLASHING TO BE INSTALLED IN
A MANNER WHICH AVOIDS ANY LEAKING. SUBMIT
DETAILS TO ARCHITECT FOR REVIEW PRIOR TO
CONSTRUCTION.**

**SUBMIT ALL LOCATIONS AND SPECS FOR ROOF
PENETRATIONS TO ARCHITECT FOR APPROVAL;
INCLUDING BUT NOT LIMITED TO ROOF VENTS**

2 GUEST HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"



1 GUEST HOUSE GROUND FLOOR/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

**THIS DRAWING IS A PROPOSED SLAB PLAN. VENEER IS TO
BE DETERMINED AND MAY IMPACT SLAB RECESSES.
CONTRACTOR TO COORDINATE ACTUAL RECESS
DIMENSIONS WITH GLAZING SYSTEM SPECIFICATIONS,
SITE DRAINAGE DESIGN, ARCHITECTURAL DESIGN, AND
SITE SETBACK/ZONING REQUIREMENTS. ARCHITECT WILL
PROVIDE FINISH DIMENSIONS AS REQUIRED.**

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A2.10
SLAB + ROOF PLANS_GUEST
HOUSE

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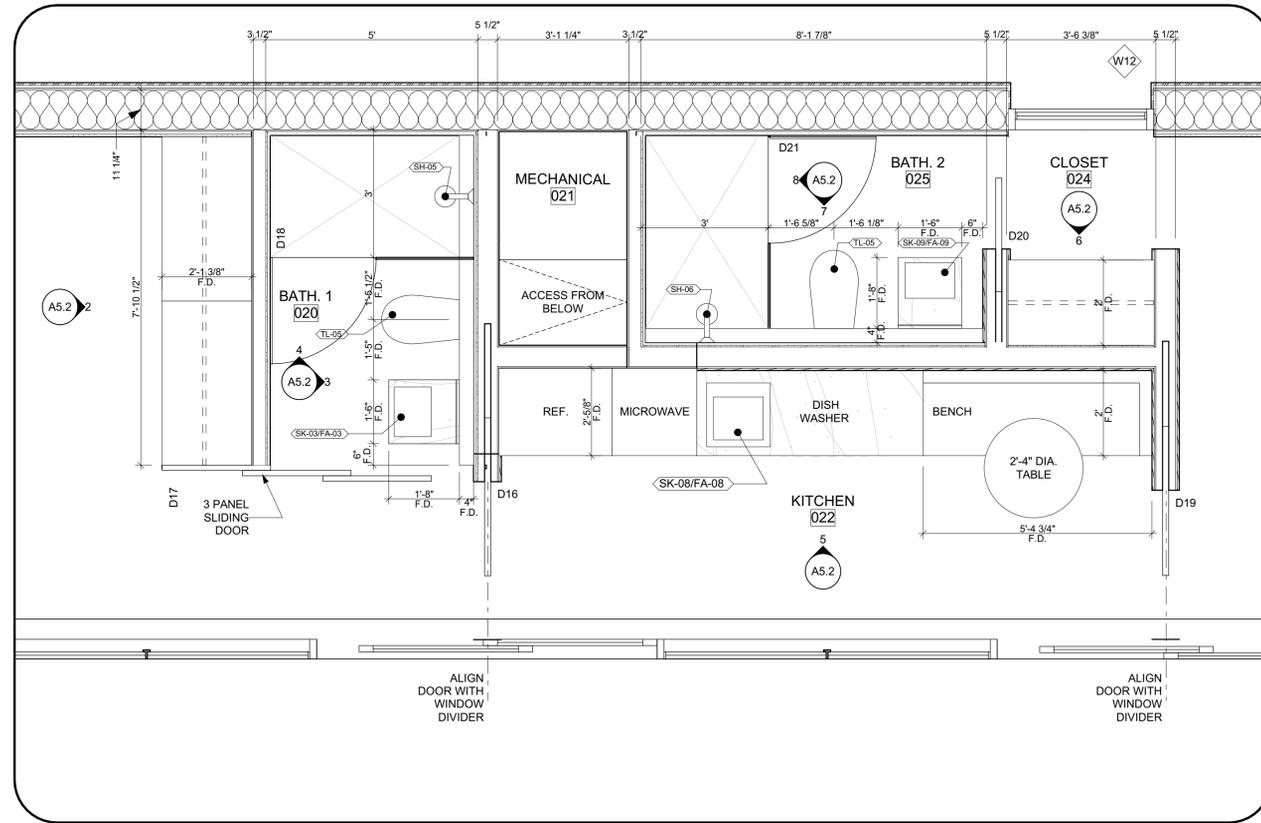
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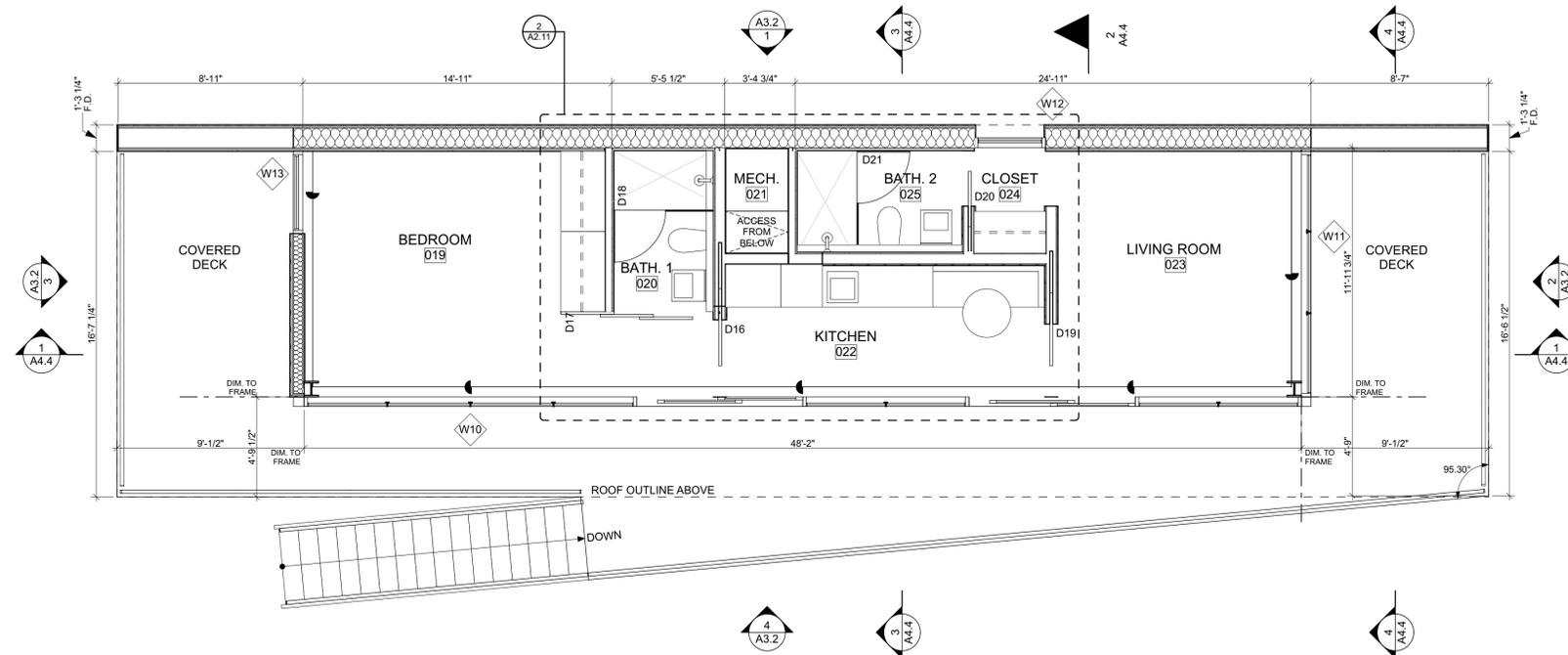
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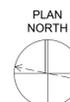
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2 GUEST HOUSE LEVEL 1 ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"



1 GUEST HOUSE LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



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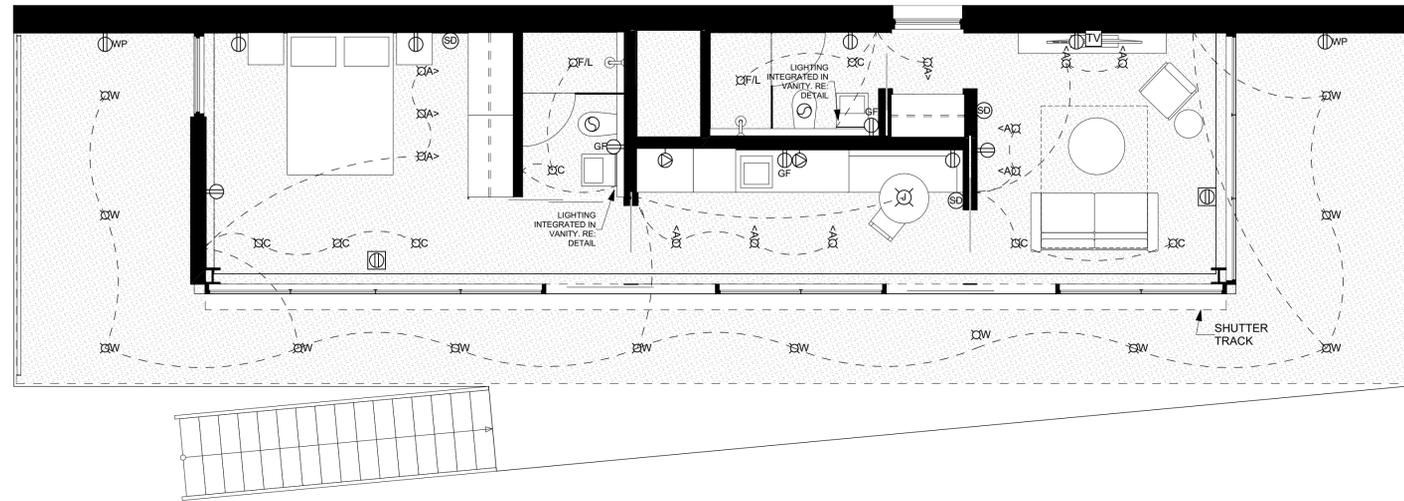
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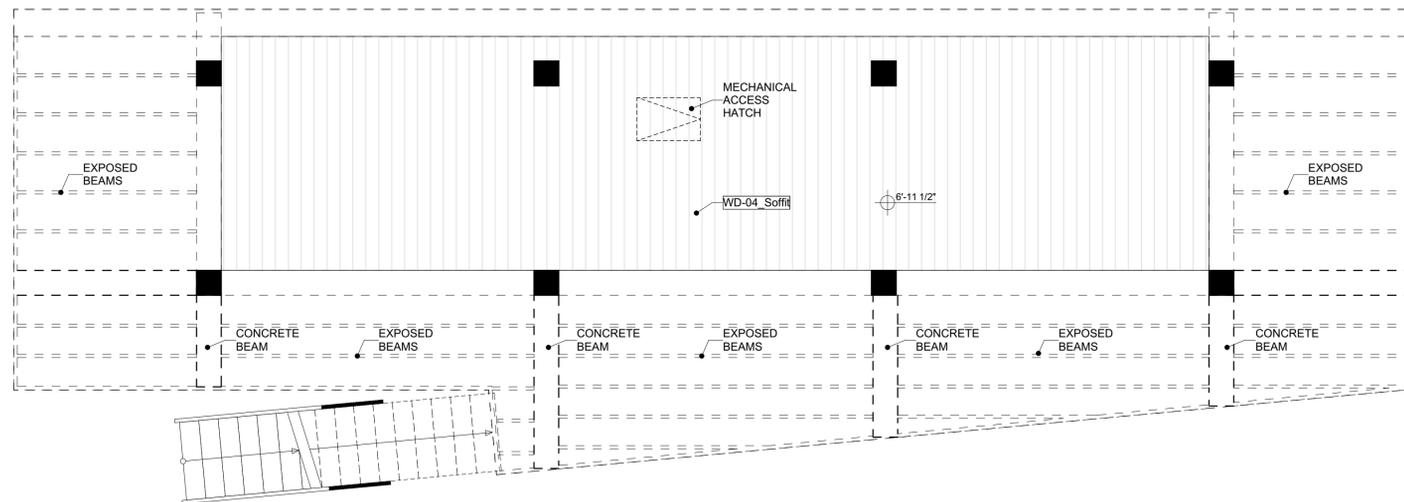
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5 GUEST HOUSE LEVEL 1 RCP
SCALE: 1/4" = 1'-0"



1 GUEST HOUSE GROUND FLOOR RCP
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	OUTLET
	GFCI OUTLET
	WEATHERPROOF OUTLET
	FLOOR OUTLET
	APPLIANCE/EQUIPMENT OUTLET
	TV OUTLET
	DATA
	TOILET EXHAUST FAN
	SMOKE DETECTOR/CARBON MONOXIDE
	THERMOSTAT

LIGHTING LEGEND	
	ADJ. RECESSED DOWNLIGHT
	RECESSED DOWNLIGHT
	RECESSED DOWNLIGHT - WET RATED
	FAN/LIGHT COMBO - WET RATED
	MONOPOINT
	WALL MOUNTED SCONCE
	WALL MOUNTED SCONCE - EXTERIOR
	LINEAR STRIP LIGHT
	PENDANT
	J-BOX CONNECTION
	WALL HUNG ARM LAMP
	CEILING FAN
	EXTERIOR EMBEDDED WALL LIGHTS

IMPORTANT: REQUIRED OUTLETS AND FIXTURES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY OUTLET AND FIXTURE QUANTITIES AND LOCATIONS FOR CODE COMPLIANCE.



NOT FOR CONSTRUCTION

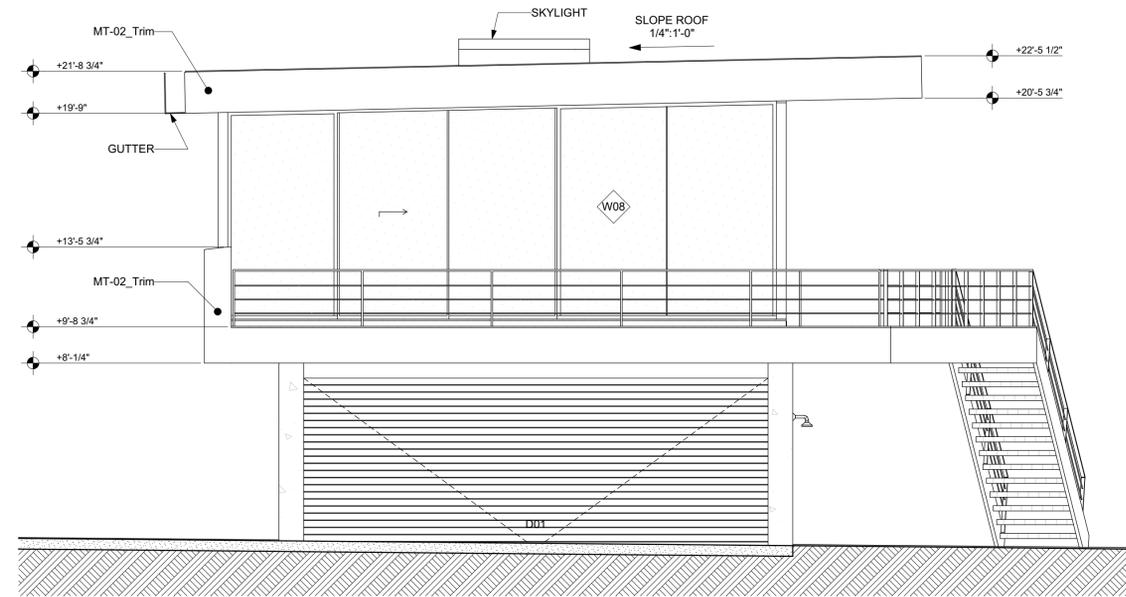
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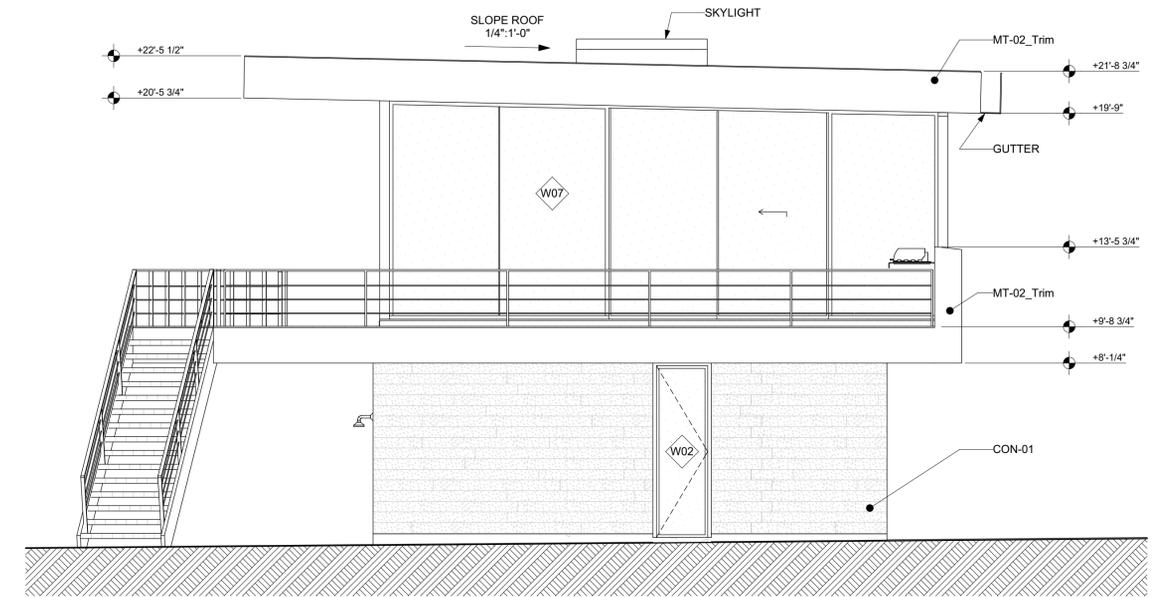
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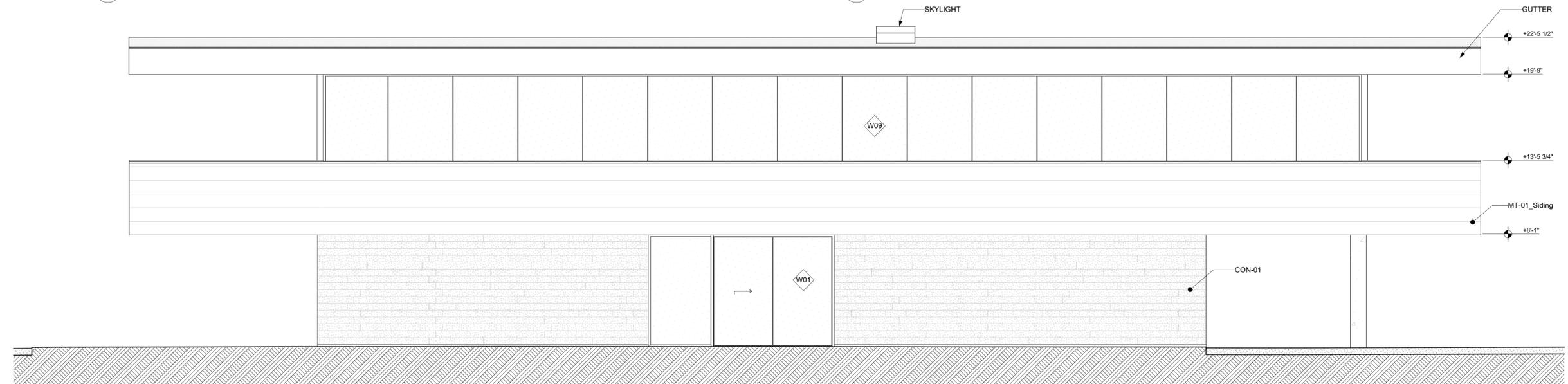
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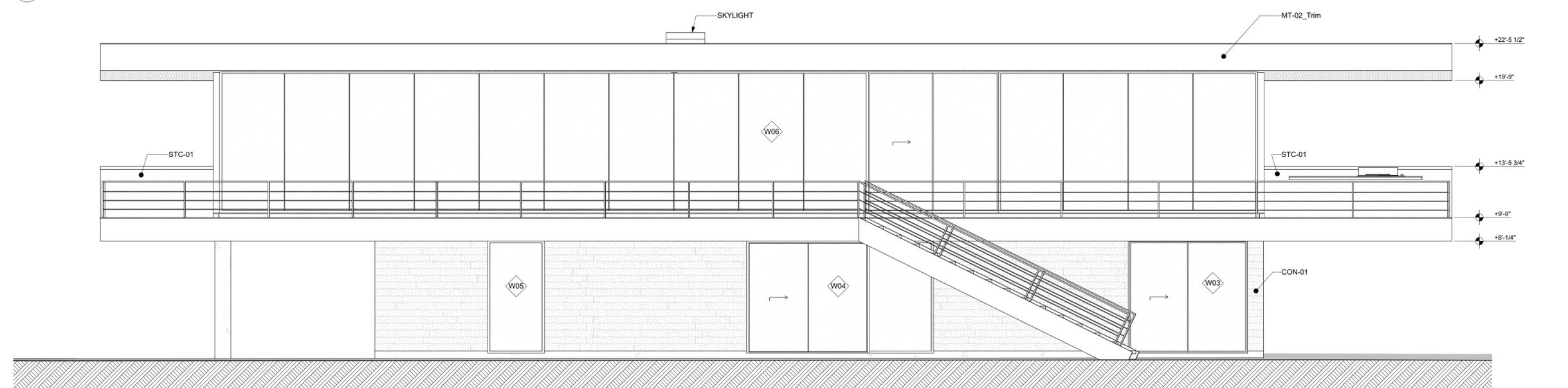
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

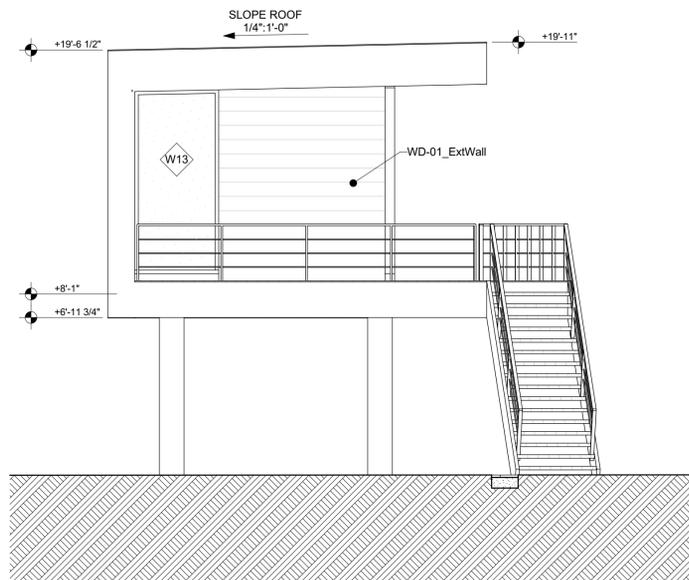
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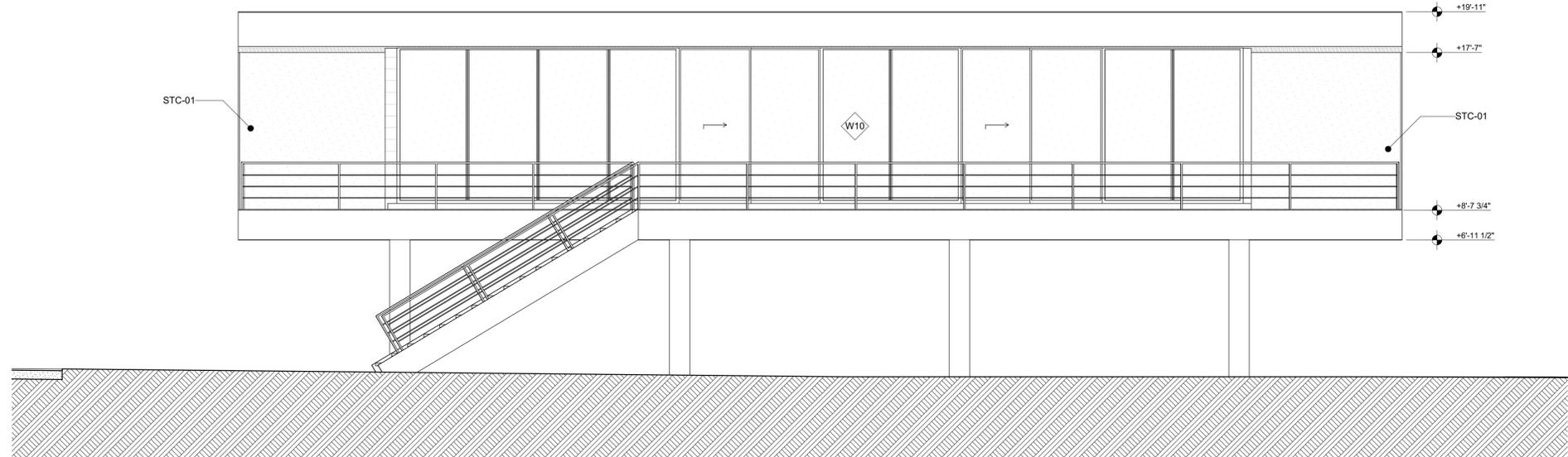
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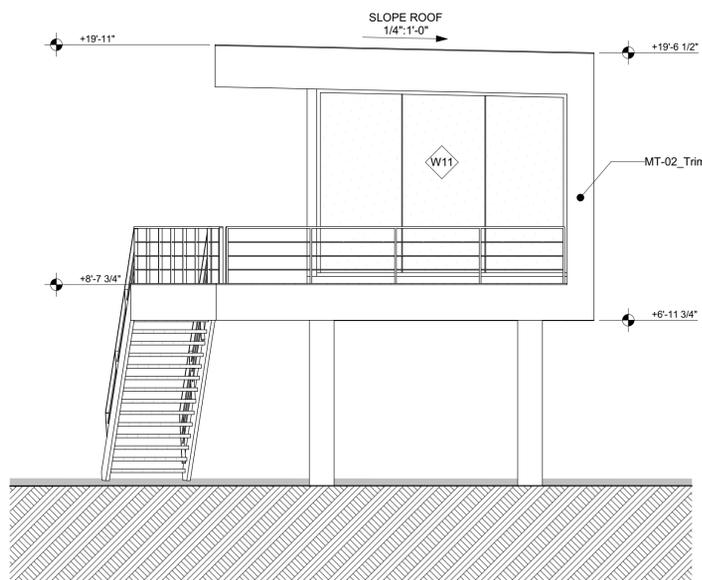
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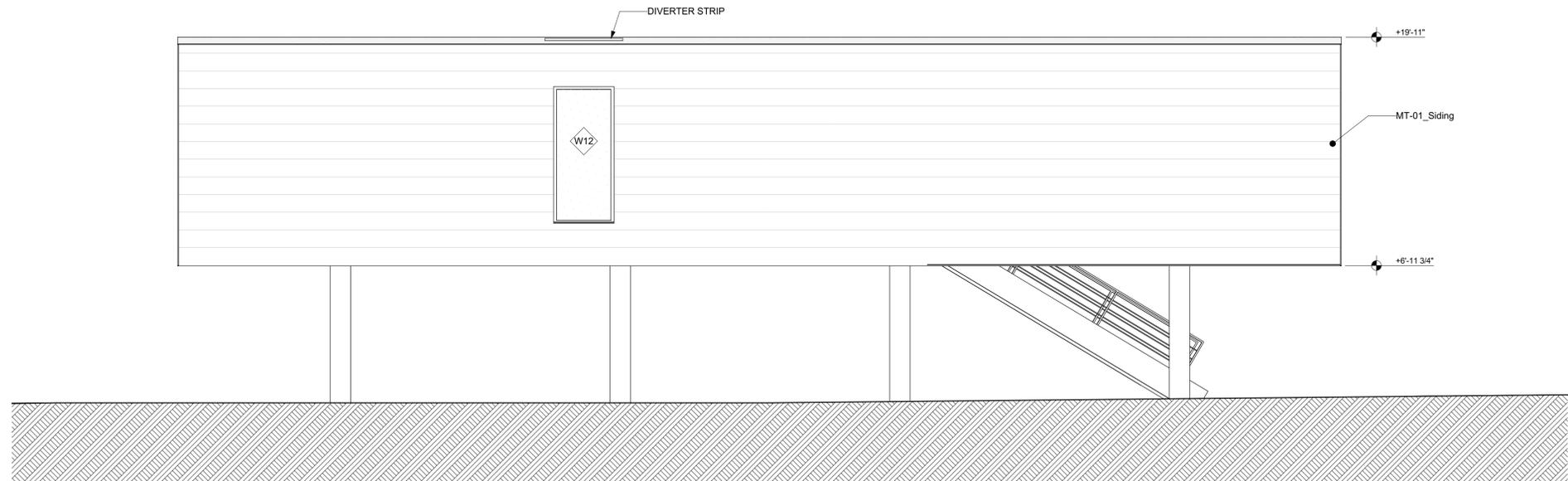
3 GUEST HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"



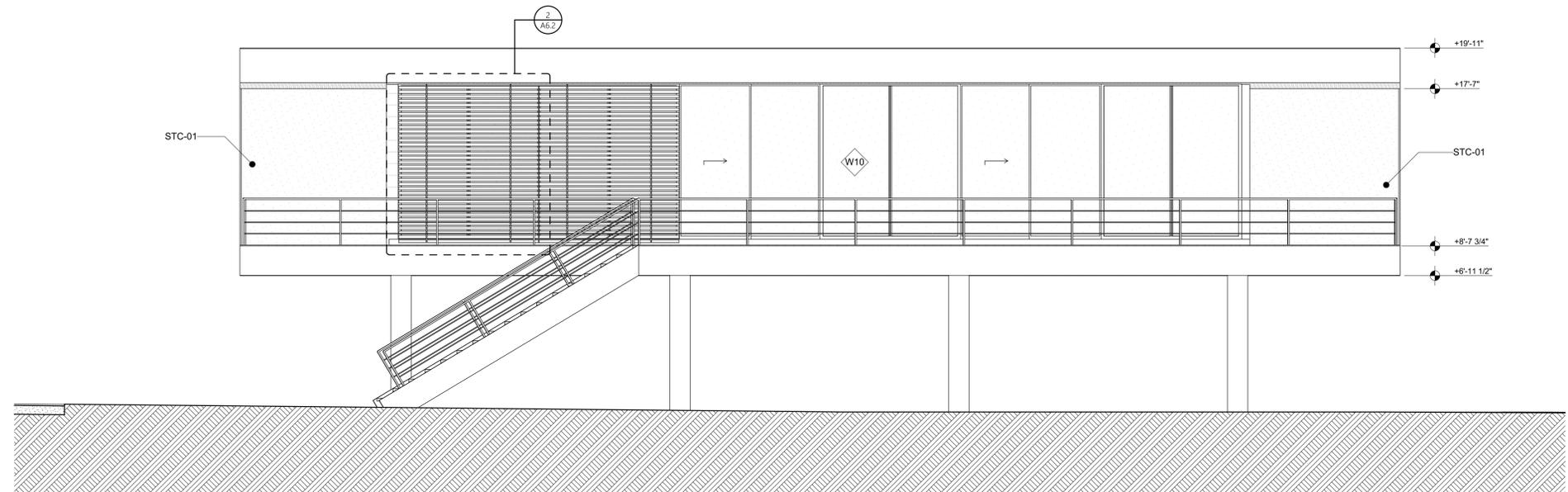
4 GUEST HOUSE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



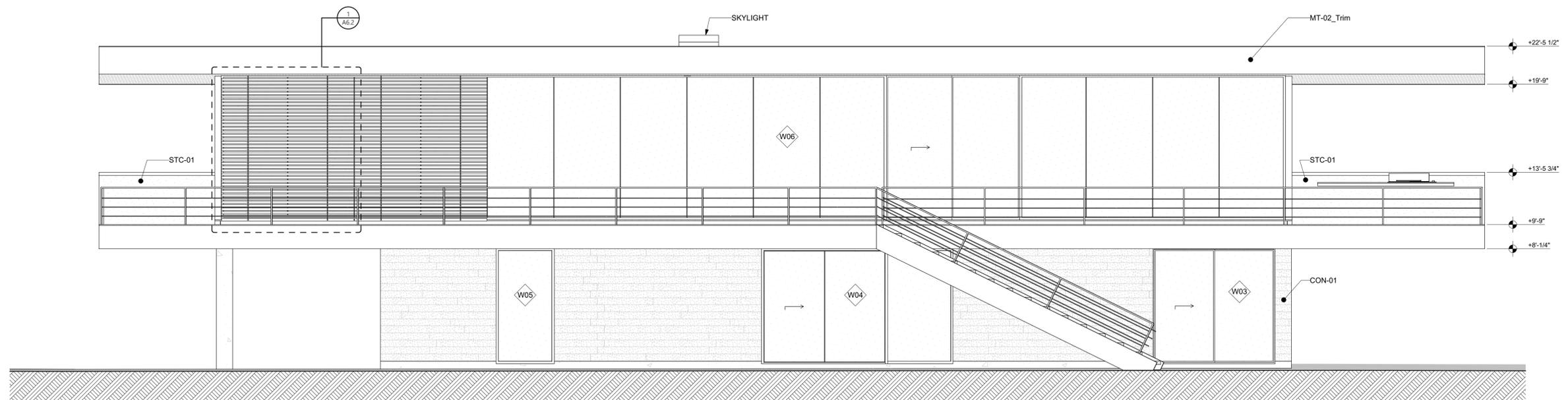
2 GUEST HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 GUEST HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 GUEST HOUSE NORTH ELEVATION + SHUTTERS
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE NORTH ELEVATION + SHUTTERS
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

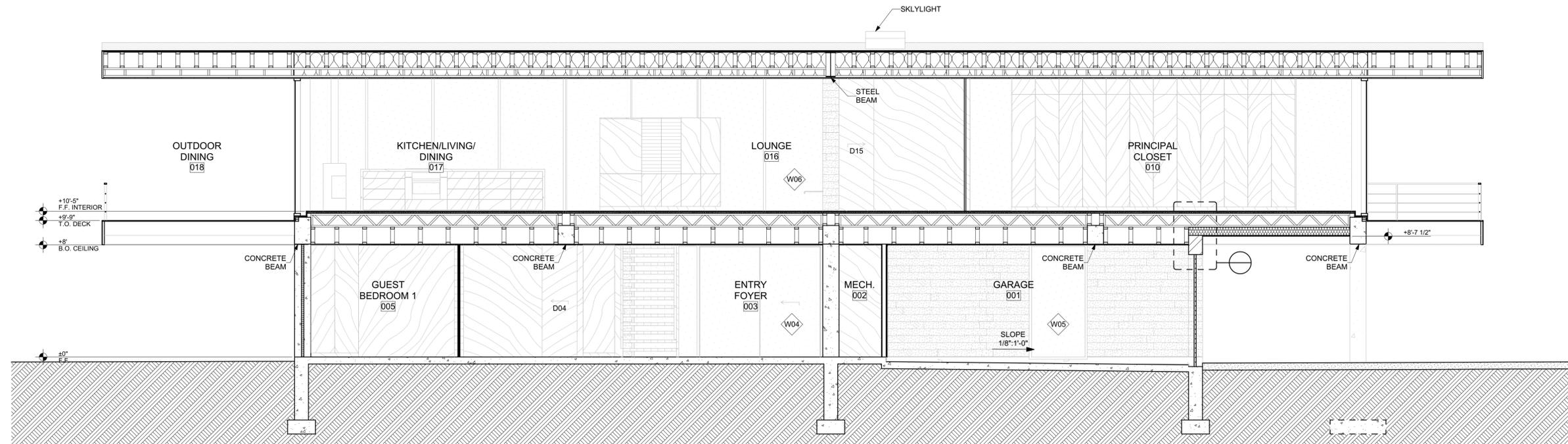
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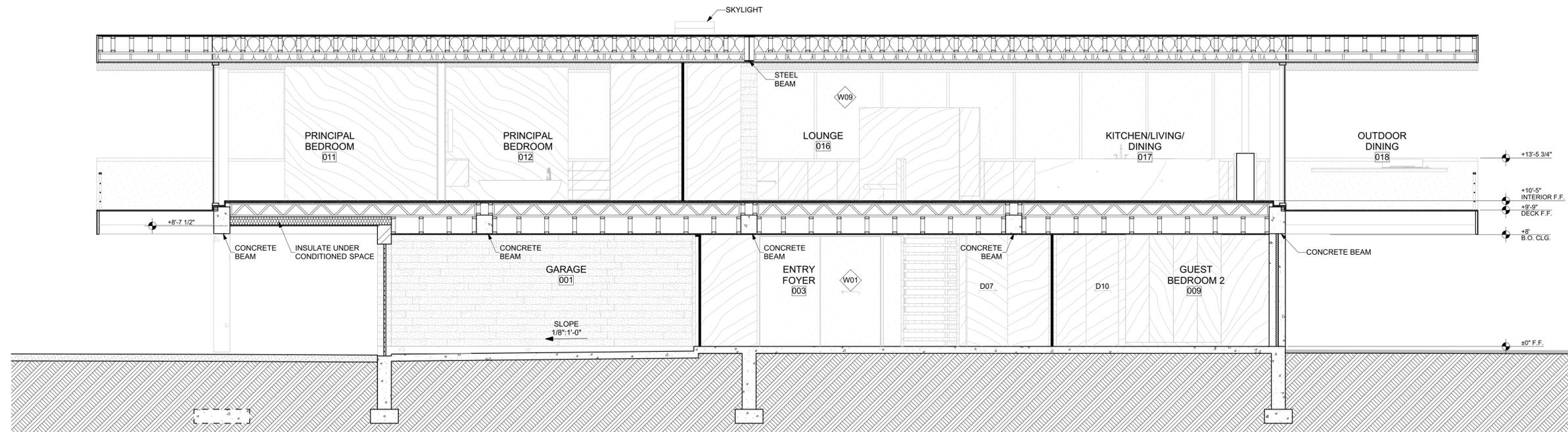
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2 MAIN HOUSE LONGITUDINAL SECTION 2
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE LONGITUDINAL SECTION 1
SCALE: 1/4" = 1'-0"

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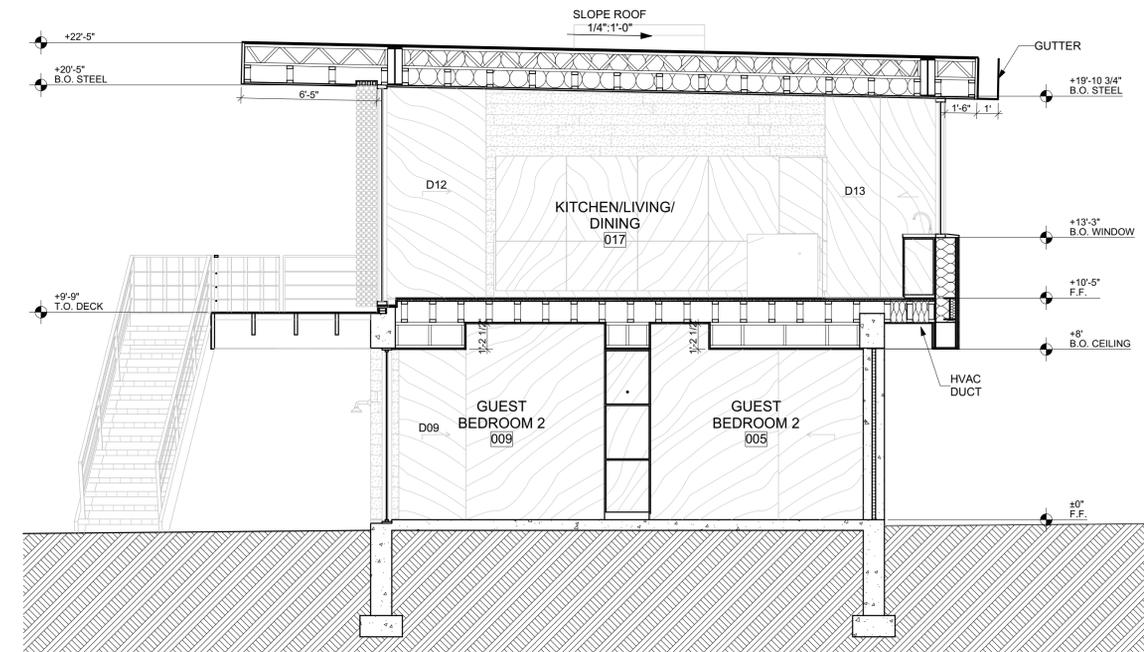
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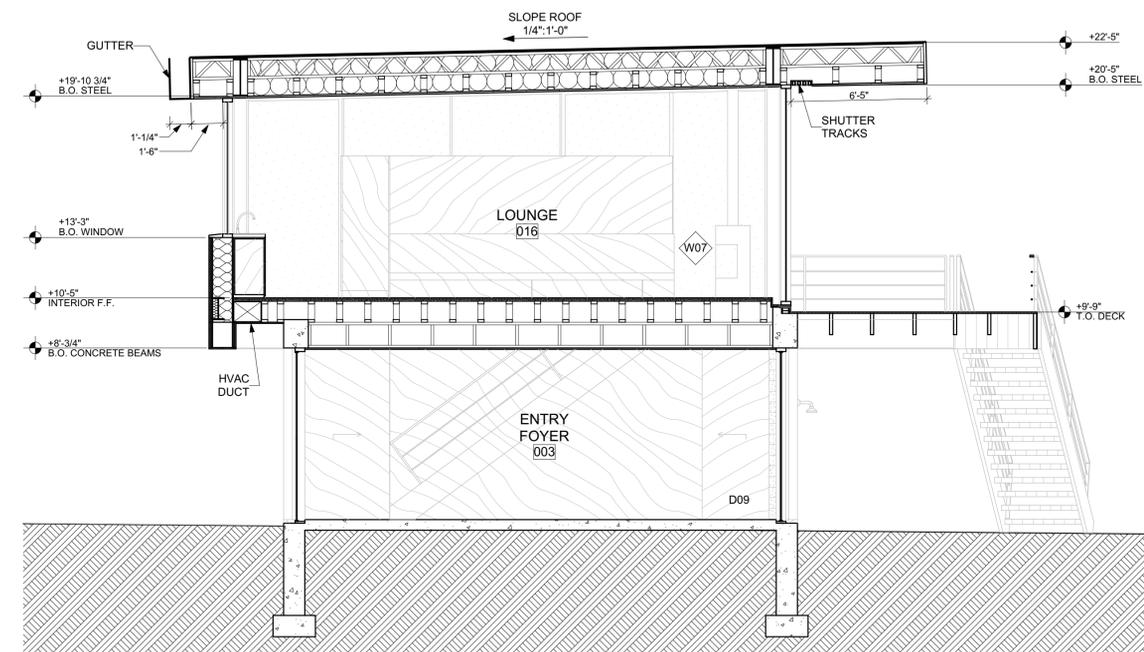
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2 MAIN HOUSE TRANSVERSE SECTION 2
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE TRANSVERSE SECTION 1
SCALE: 1/4" = 1'-0"

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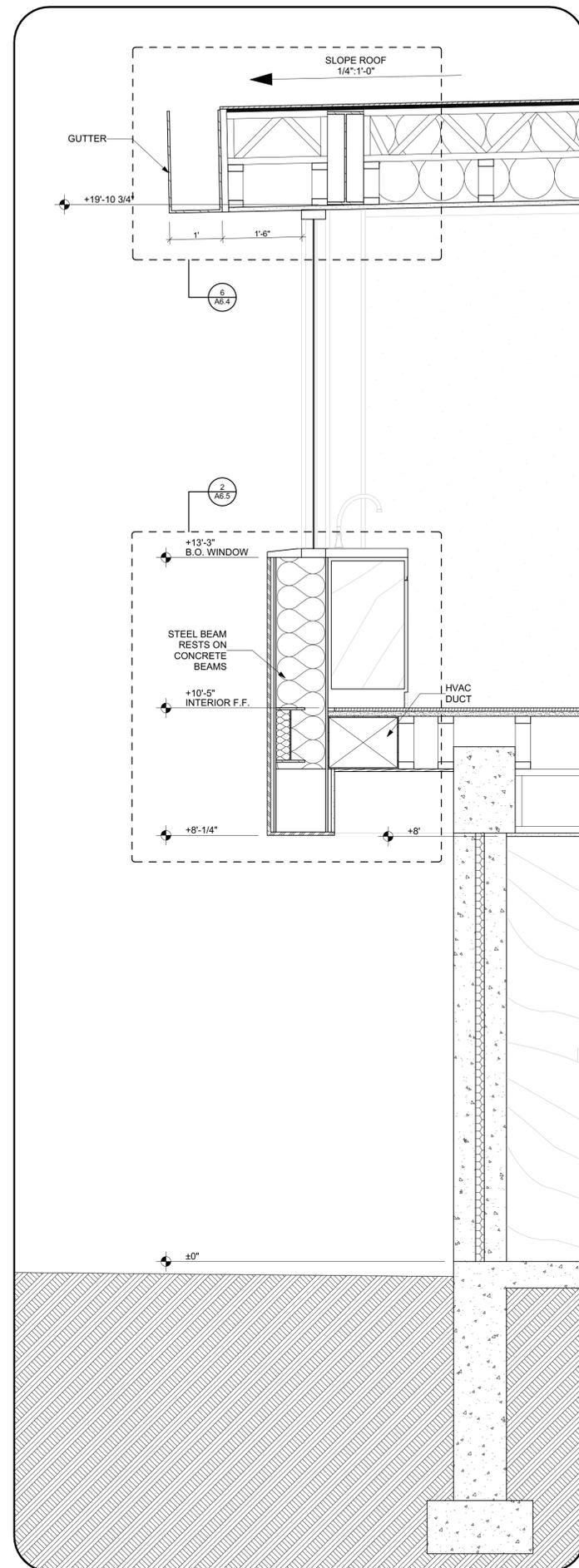
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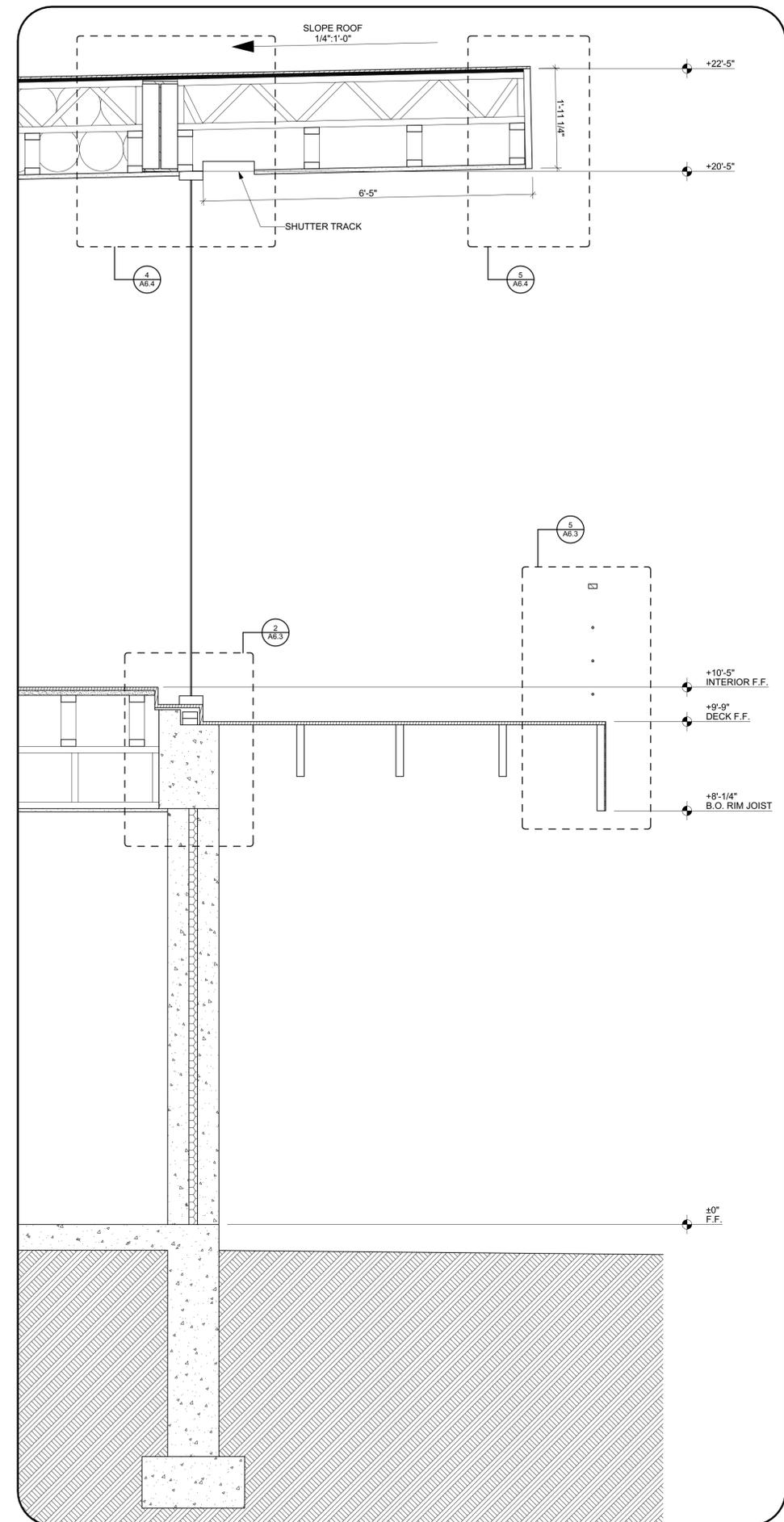
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2 MAIN HOUSE WALL SECTION 2
SCALE: 3/4" = 1'-0"



1 MAIN HOUSE WALL SECTION 1
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

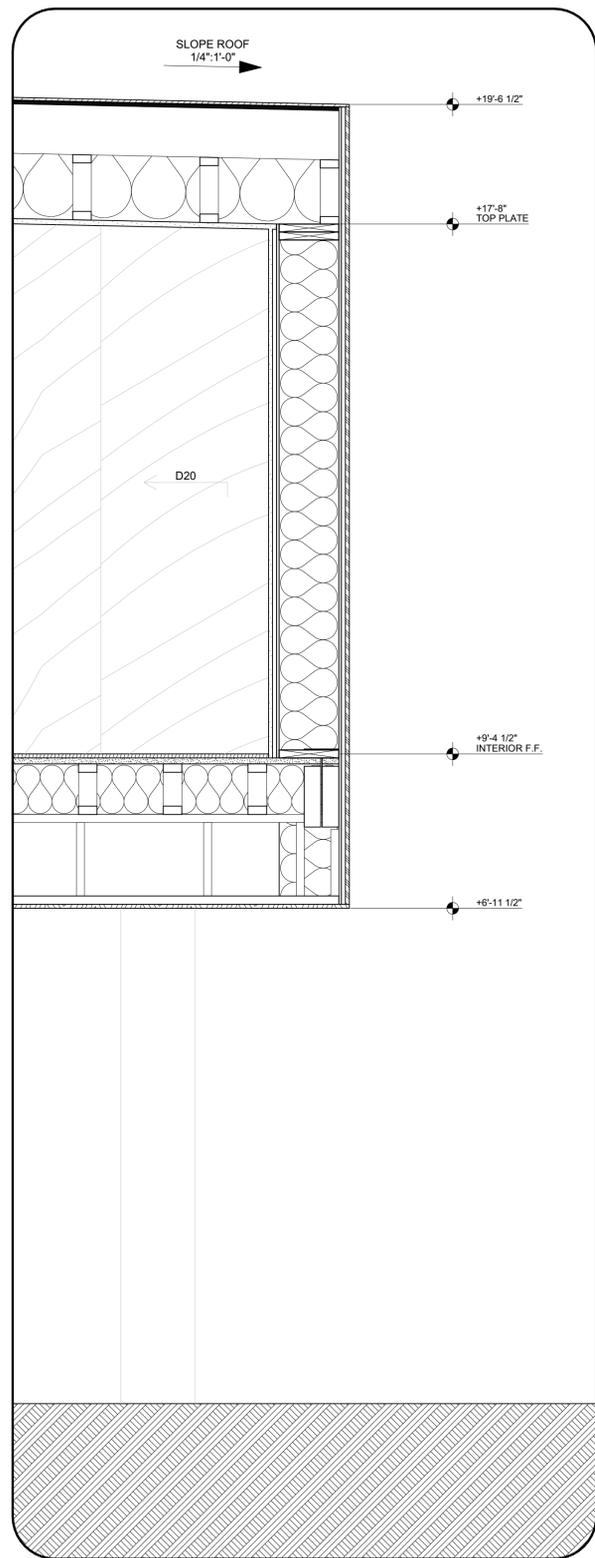
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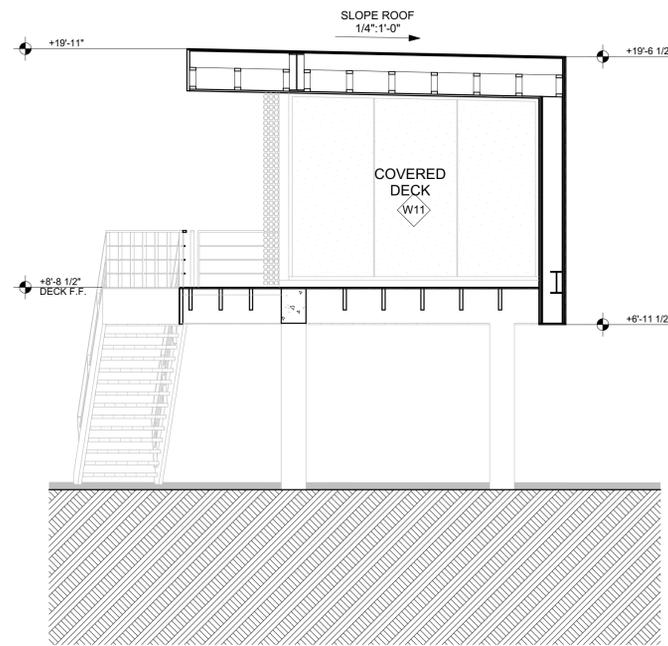
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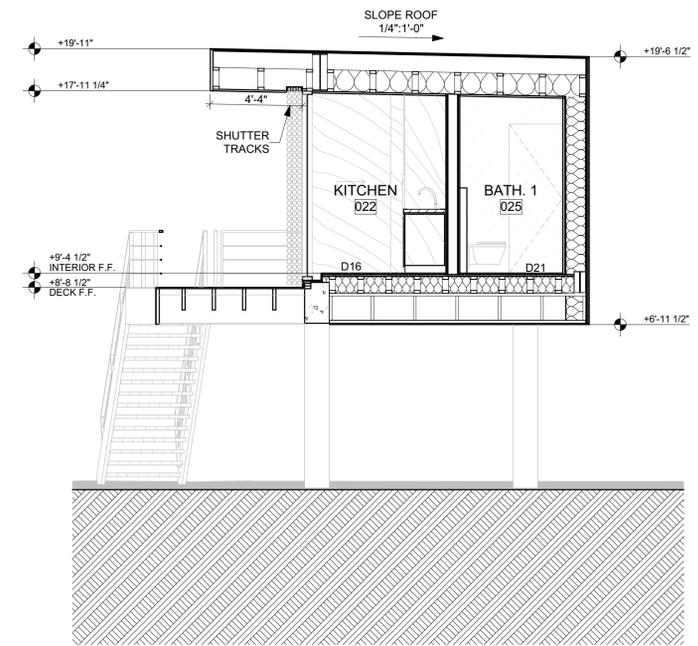
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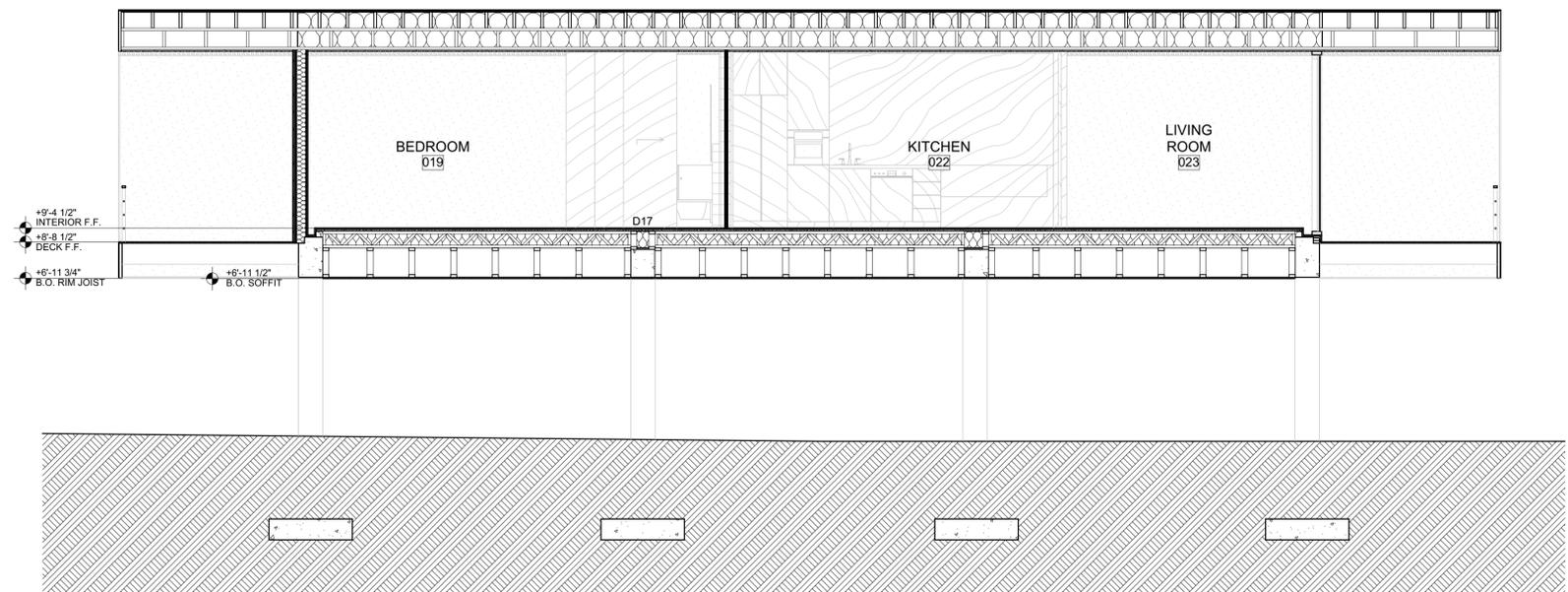
2 GUEST HOUSE WALL SECTION 1
SCALE: 3/4" = 1'-0"



4 GUEST HOUSE TRANSVERSE SECTION 2
SCALE: 1/4" = 1'-0"



3 GUEST HOUSE TRANSVERSE SECTION 1
SCALE: 1/4" = 1'-0"



1 GUEST HOUSE LONGITUDINAL SECTION 1
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

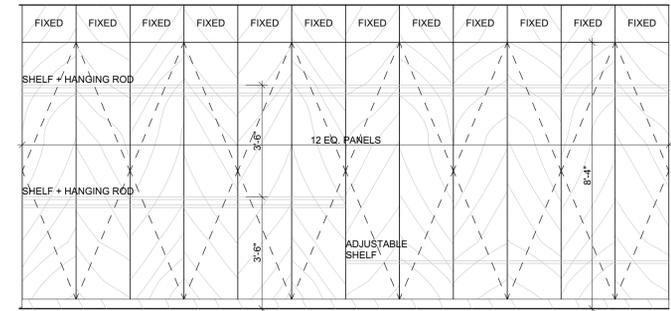
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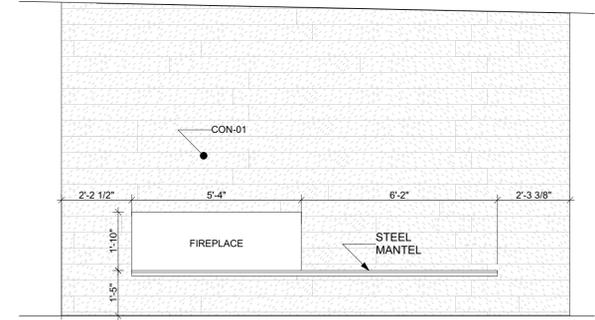
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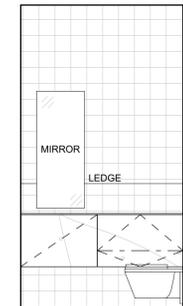
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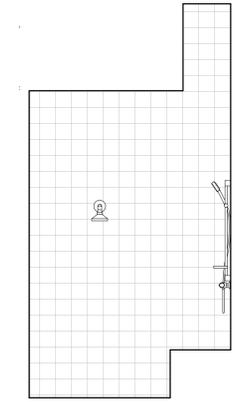
29 CLOSET
SCALE: 3/8" = 1'-0"



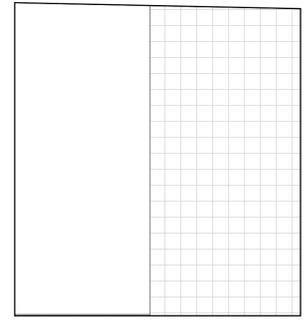
22 FIREPLACE
SCALE: 3/8" = 1'-0"



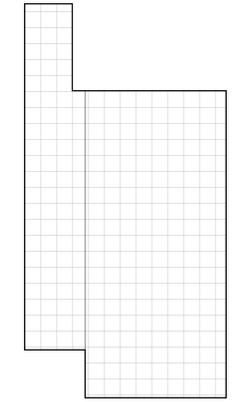
23 POWDER
SCALE: 3/8" = 1'-0"



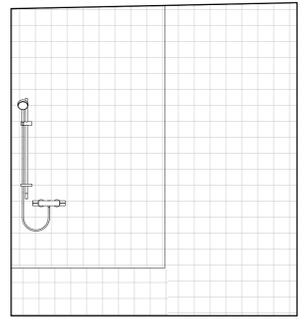
24 P. BATH.
SCALE: 3/8" = 1'-0"



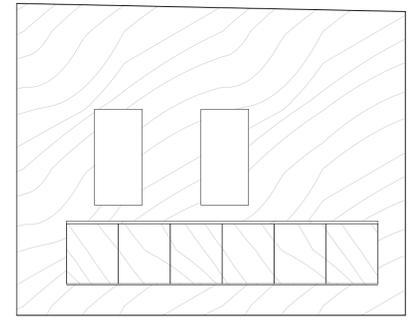
25 P. BATH.
SCALE: 3/8" = 1'-0"



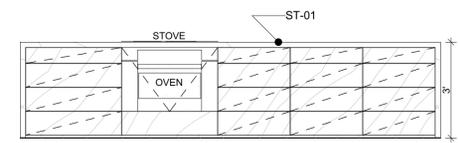
26 P. BATH.
SCALE: 3/8" = 1'-0"



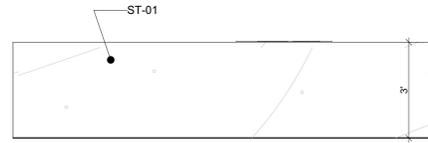
27 P. BATH.
SCALE: 3/8" = 1'-0"



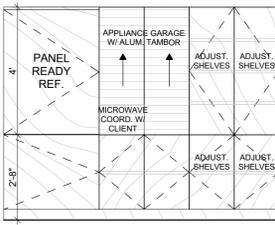
28 P. BATH. VANITY
SCALE: 3/8" = 1'-0"



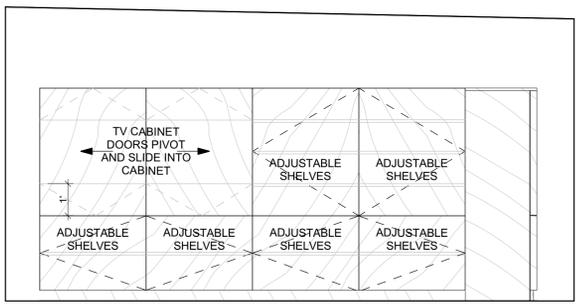
18 KITCHEN ISLAND
SCALE: 3/8" = 1'-0"



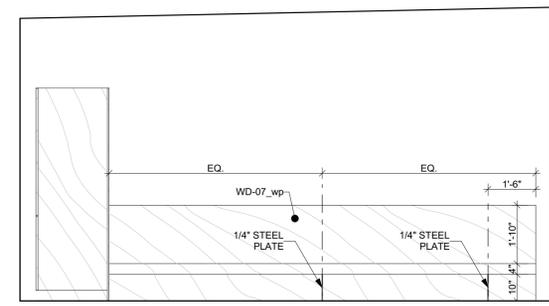
19 KITCHEN ISLAND FRONT
SCALE: 3/8" = 1'-0"



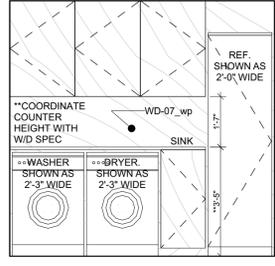
20 PANTRY
SCALE: 3/8" = 1'-0"



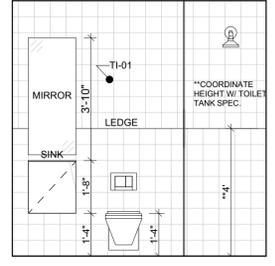
21 LIVING ROOM
SCALE: 3/8" = 1'-0"



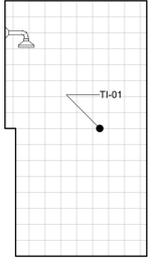
30 LOUNGE BENCH
SCALE: 3/8" = 1'-0"



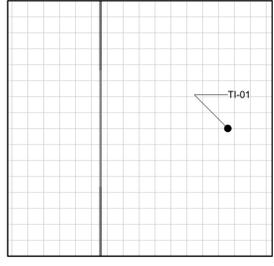
10 UTILITY
SCALE: 3/8" = 1'-0"



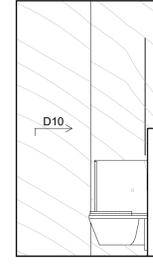
11 BATH. 2
SCALE: 3/8" = 1'-0"



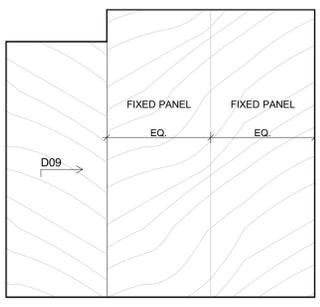
12 BATH. 2
SCALE: 3/8" = 1'-0"



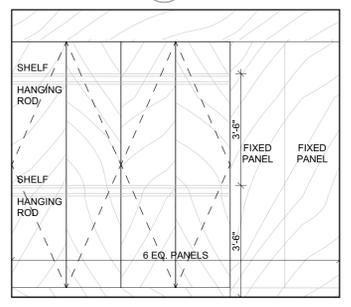
13 BATH. 2
SCALE: 3/8" = 1'-0"



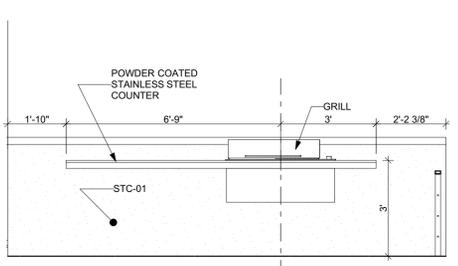
14 BATH. 2
SCALE: 3/8" = 1'-0"



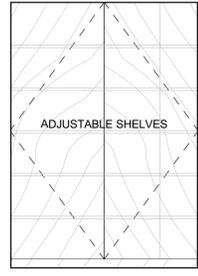
15 G. BED. 2
SCALE: 3/8" = 1'-0"



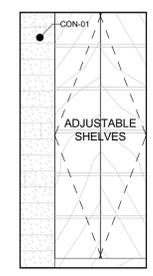
16 G. BED. 2
SCALE: 3/8" = 1'-0"



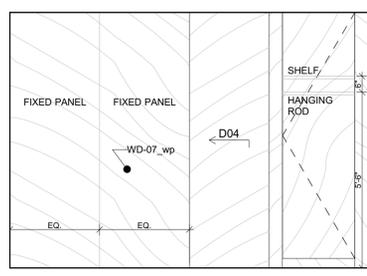
17 GRILL
SCALE: 3/8" = 1'-0"



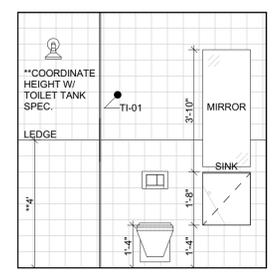
1 GARAGE
SCALE: 3/8" = 1'-0"



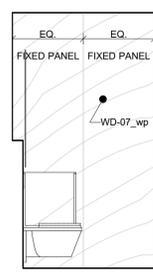
2 FOYER
SCALE: 3/8" = 1'-0"



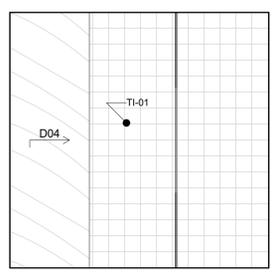
3 COATS
SCALE: 3/8" = 1'-0"



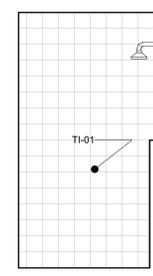
4 BATH. 1
SCALE: 3/8" = 1'-0"



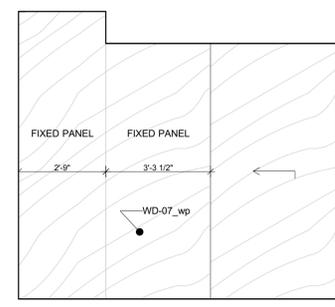
5 BATH. 1
SCALE: 3/8" = 1'-0"



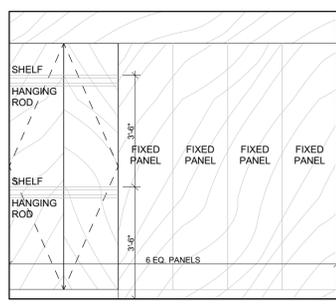
6 BATH. 1
SCALE: 3/8" = 1'-0"



7 BATH. 1
SCALE: 3/8" = 1'-0"



8 G. BED. 1
SCALE: 3/8" = 1'-0"



9 G. BED. 1
SCALE: 3/8" = 1'-0"

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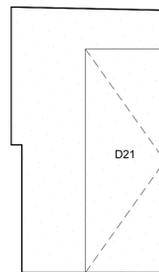
CONSULTANTS
**VINEYARD LAND SURVEYING +
ENGINEERING INC**
Cody Coutinho
12 Courmoyer RD
West Tisbury, MA 02575
(508) 693-3774
cody@vlse.net

GENERAL CONTRACTOR

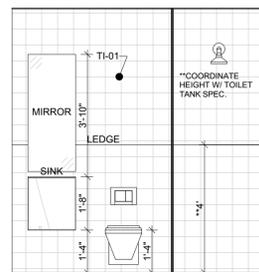
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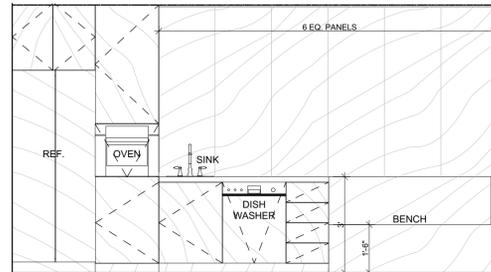
8 G.H. BATH. 2
SCALE: 3/8" = 1'-0"



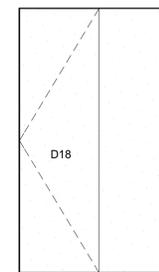
7 G.H. BATH. 2
SCALE: 3/8" = 1'-0"



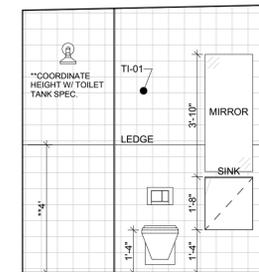
6 G.H. CL.
SCALE: 3/8" = 1'-0"



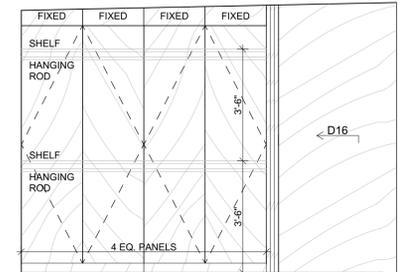
5 G.H. KITCHEN
SCALE: 3/8" = 1'-0"



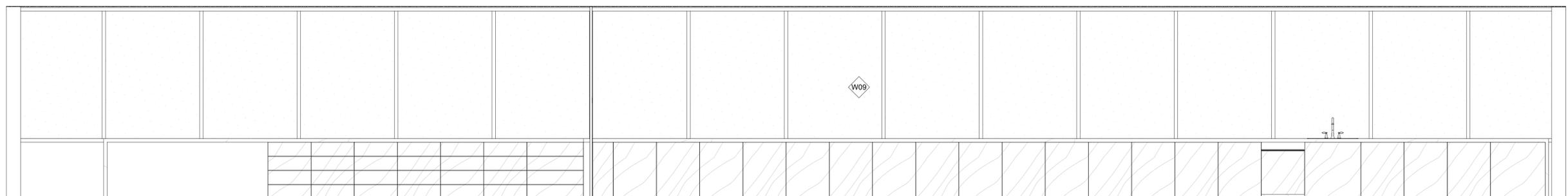
4 G.H. BATH. 1
SCALE: 3/8" = 1'-0"



3 G.H. BATH. 1
SCALE: 3/8" = 1'-0"



2 G.H. BEDROOM
SCALE: 3/8" = 1'-0"



1 COUNTER
SCALE: 3/8" = 1'-0"

NOT FOR CONSTRUCTION

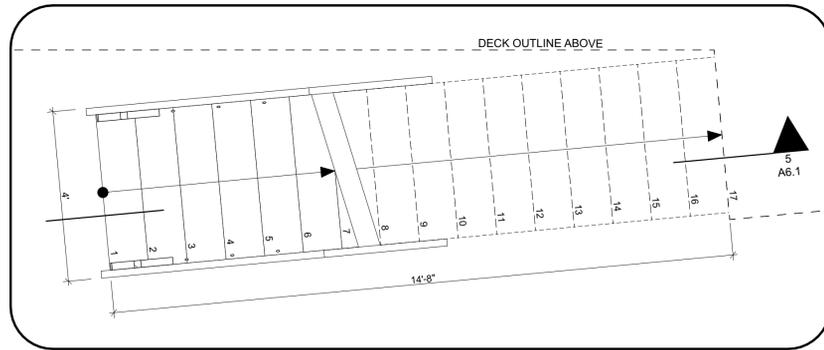
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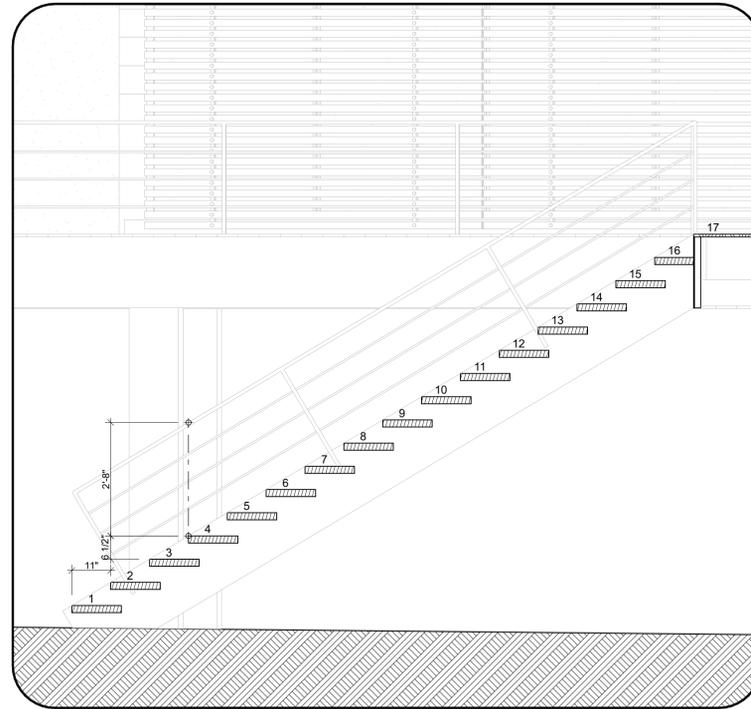
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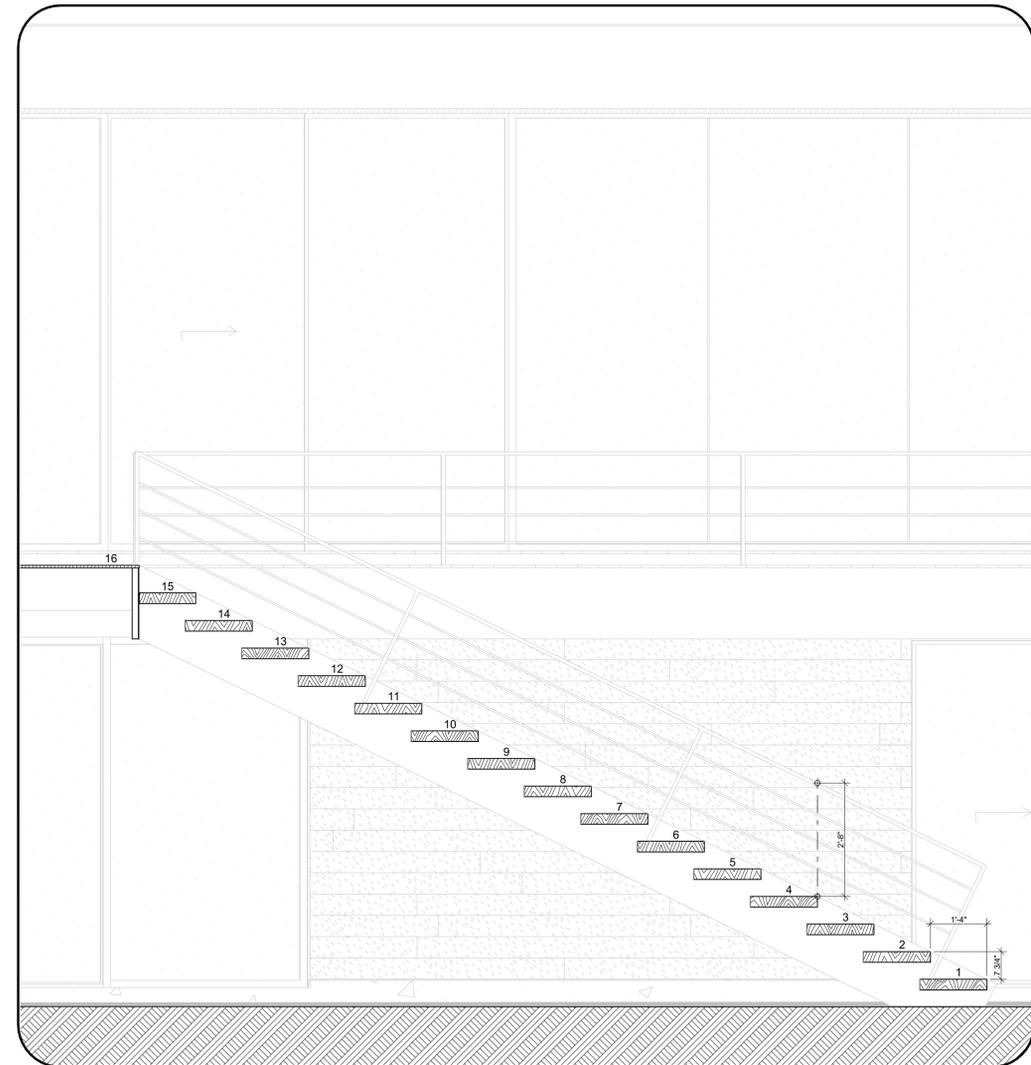
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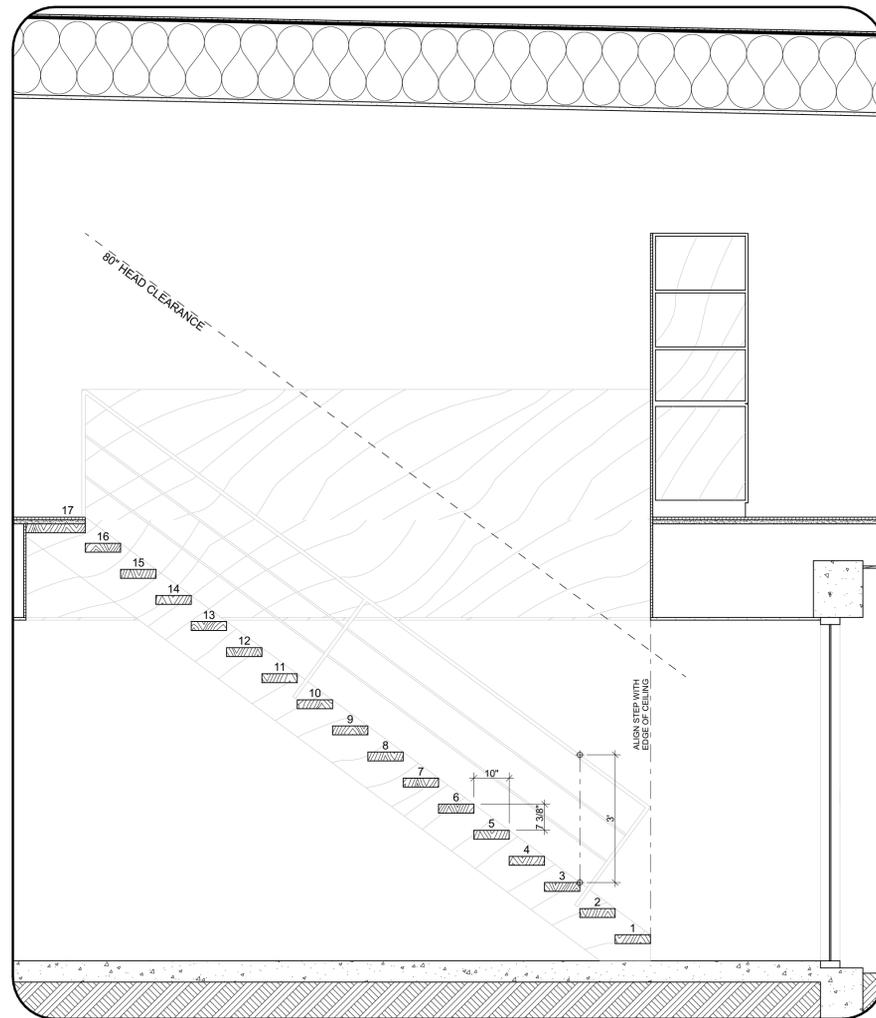
6 GUEST HOUSE STAIR PLAN
SCALE: 1/2" = 1'-0"



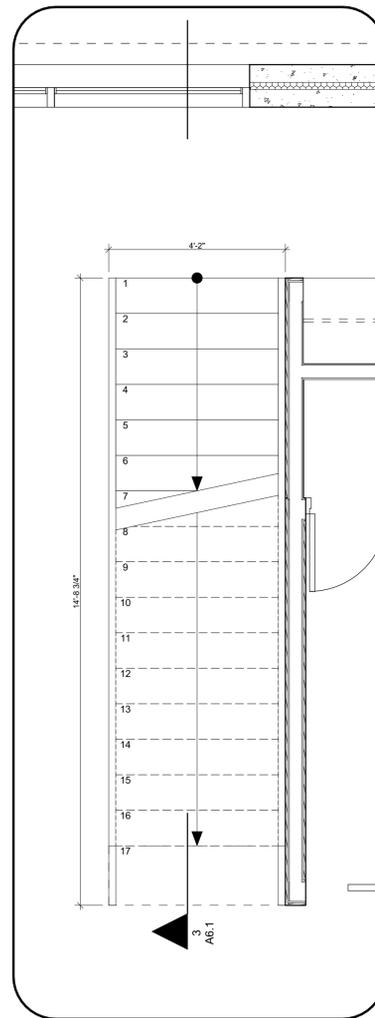
5 GUEST HOUSE STAIR SECTION
SCALE: 1/2" = 1'-0"



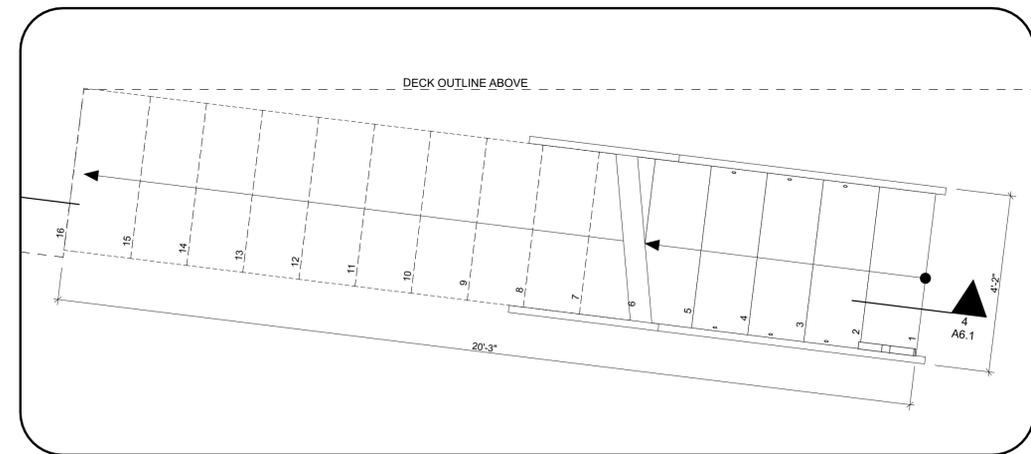
4 MAIN HOUSE EXTERIOR STAIR SECTION
SCALE: 1/2" = 1'-0"



3 FOYER STAIR SECTION
SCALE: 1/2" = 1'-0"



2 FOYER STAIR PLAN
SCALE: 1/2" = 1'-0"



1 MAIN HOUSE EXTERIOR STAIR PLAN
SCALE: 1/2" = 1'-0"

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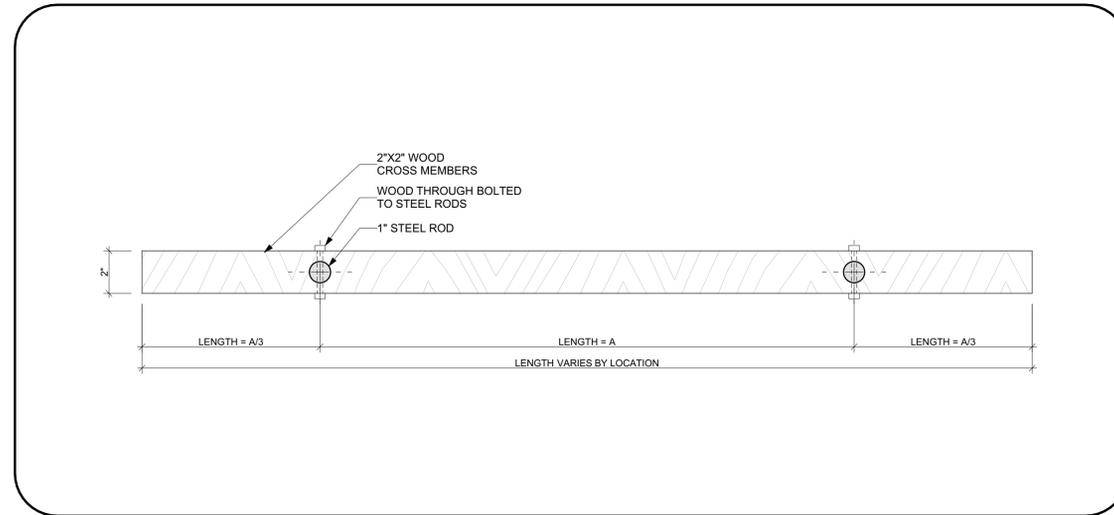
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ISSUE

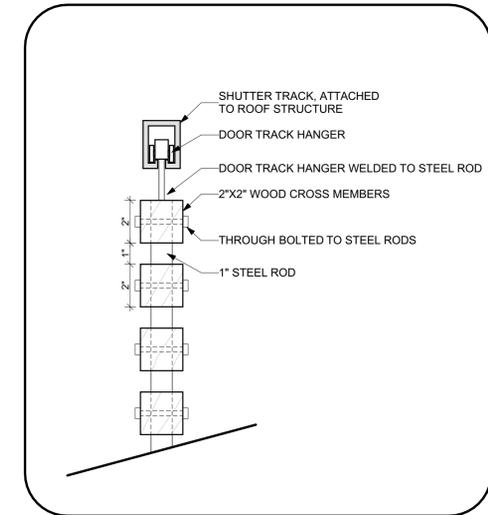
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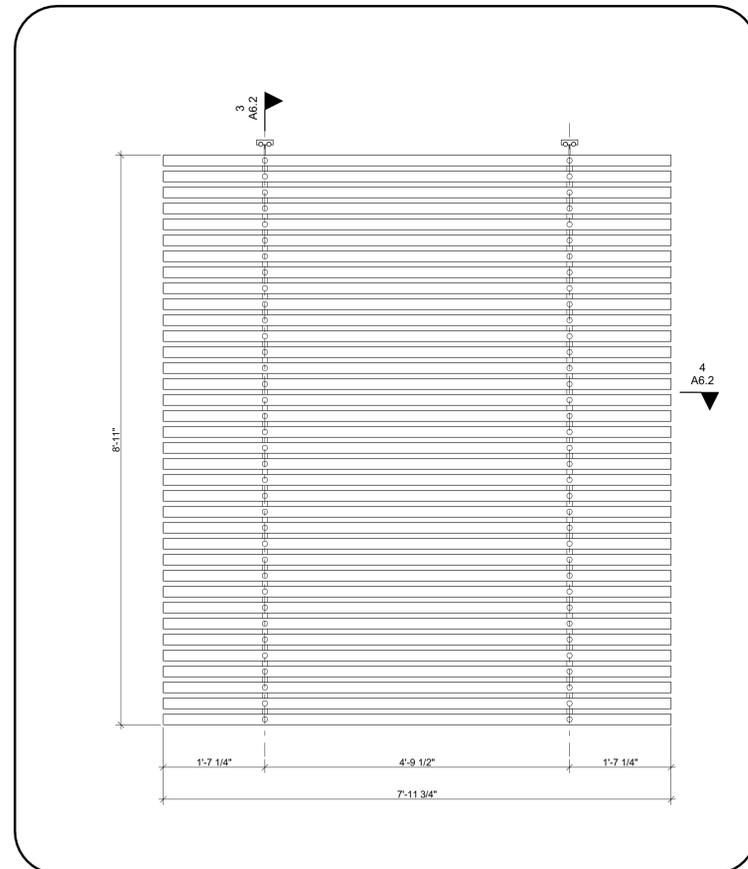
A6.2
SHUTTER DETAILS



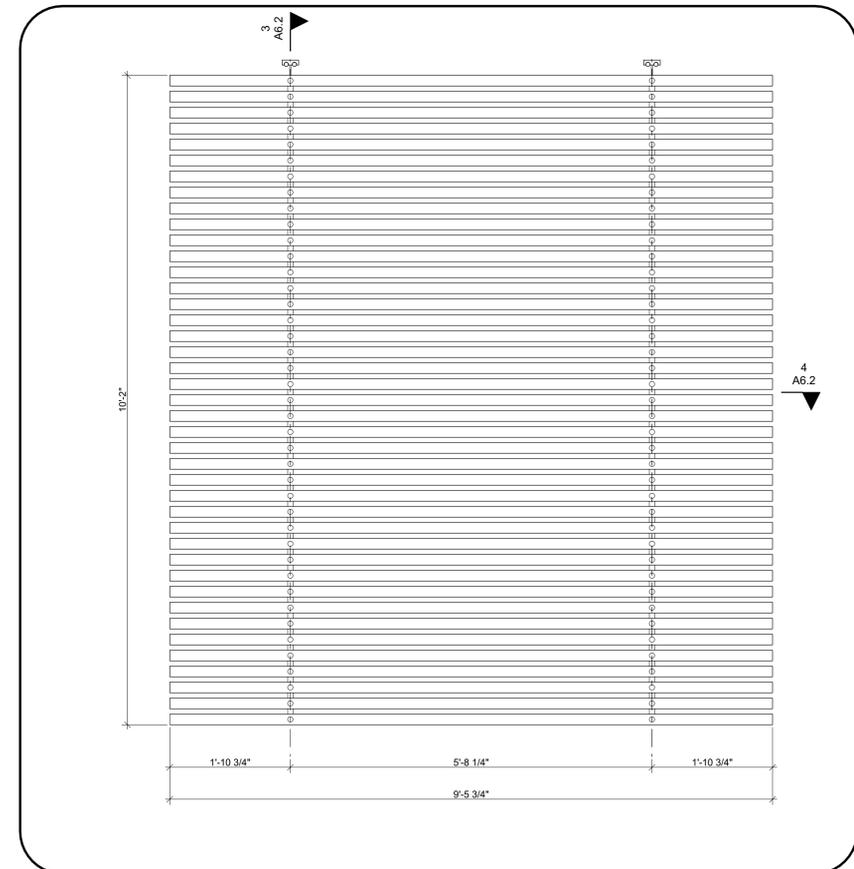
4 SHUTTER PLAN DETAILS
SCALE: 3" = 1'-0"



3 SHUTTER SECTION DETAILS
SCALE: 3" = 1'-0"



2 GUEST HOUSE SHUTTER ELEVATION
SCALE: 3/4" = 1'-0"



1 MAIN HOUSE FIRST FLOOR SHUTTER ELEVATION
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

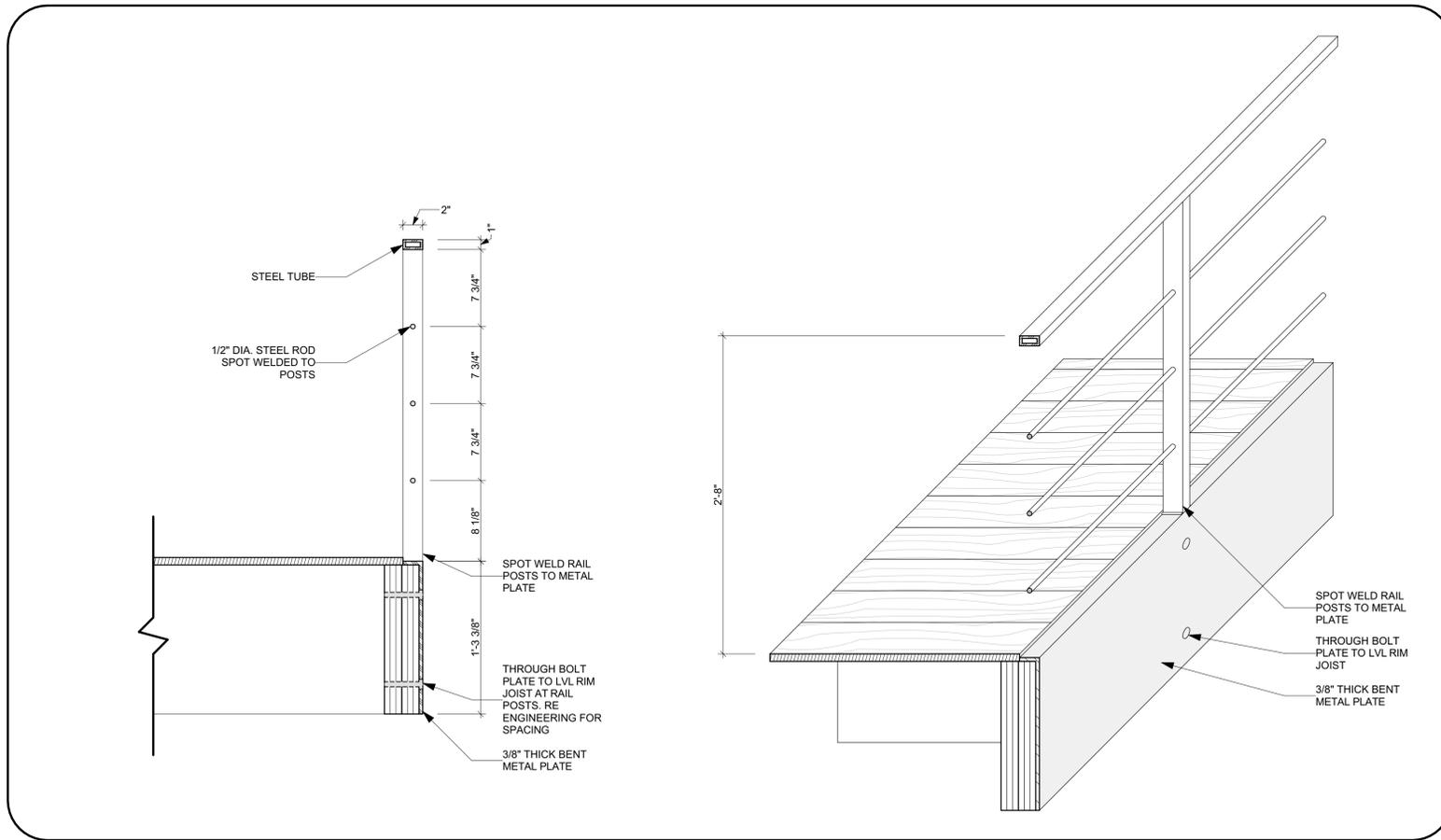
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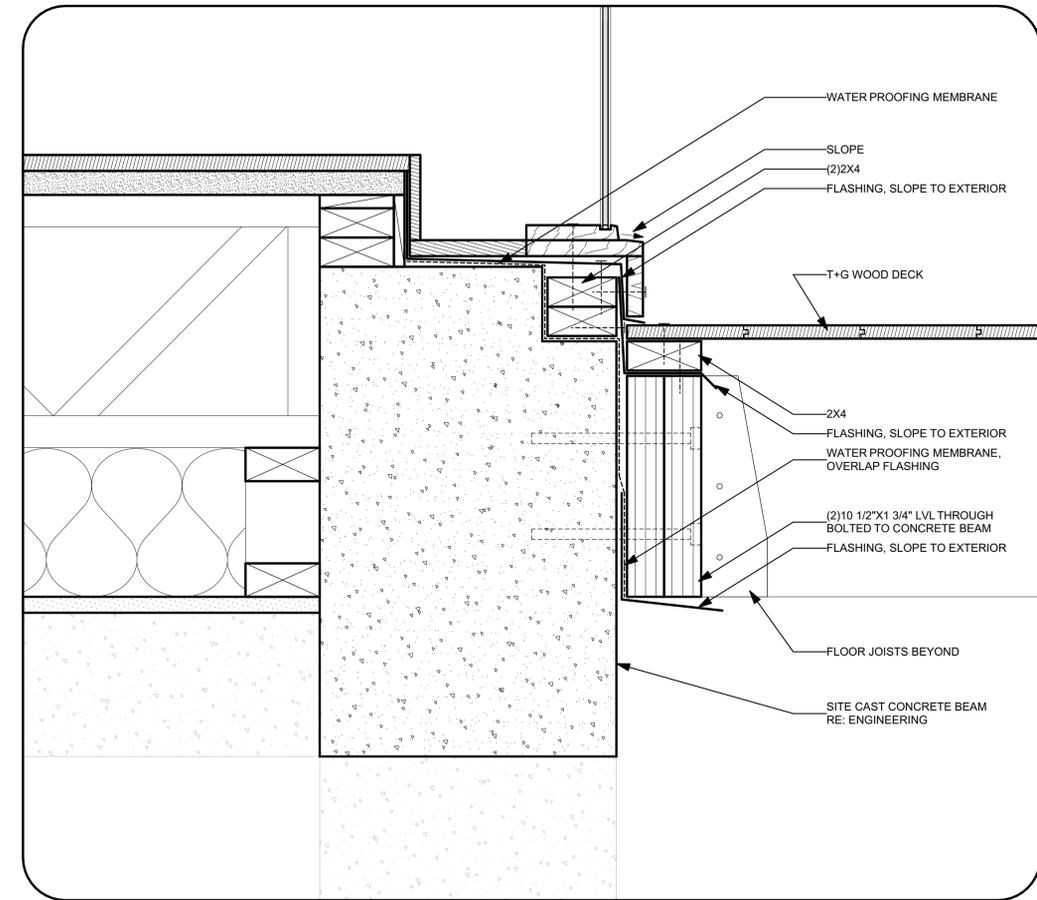
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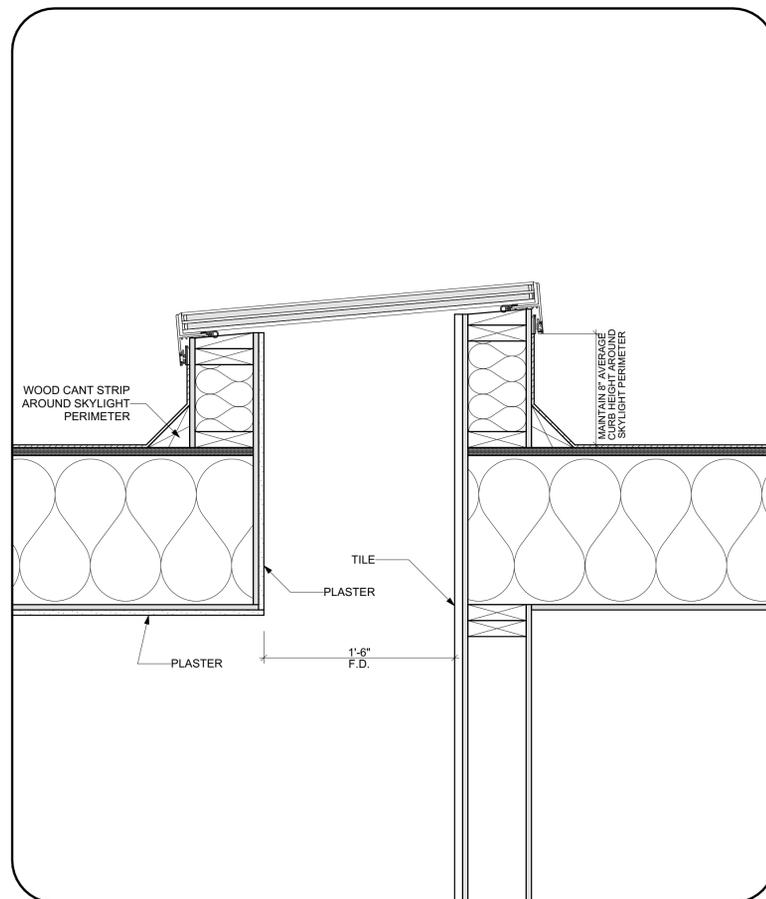
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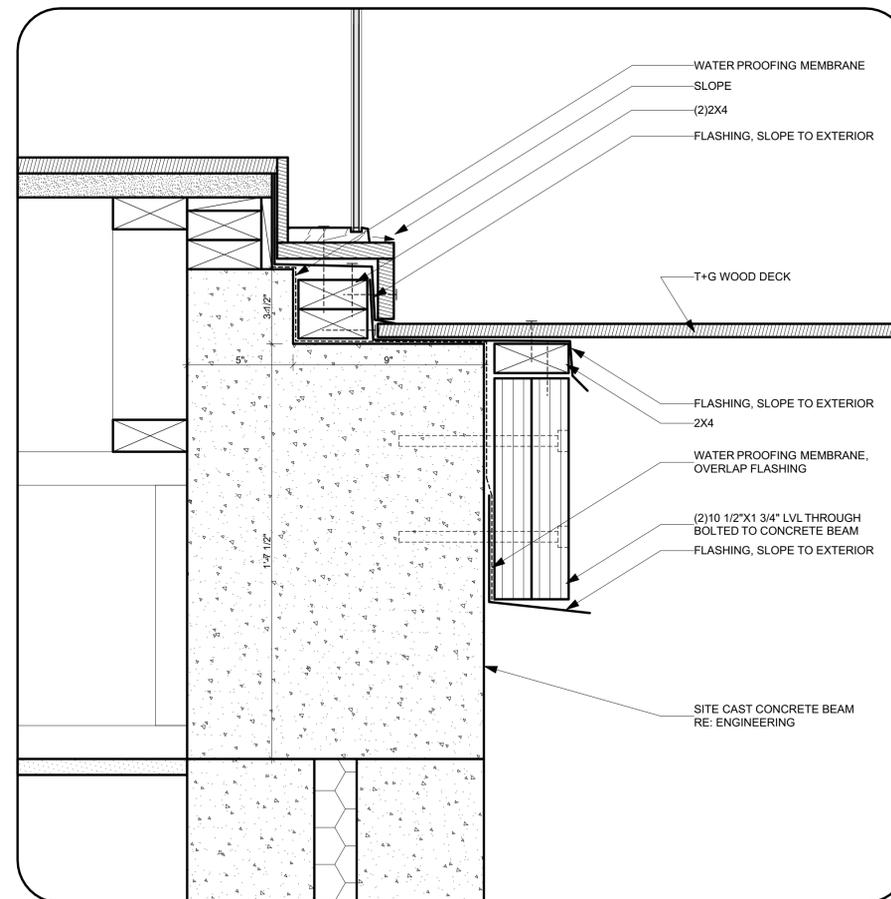
5 TYPICAL GUARD RAIL CONNECTION
SCALE: 1 1/2" = 1'-0"



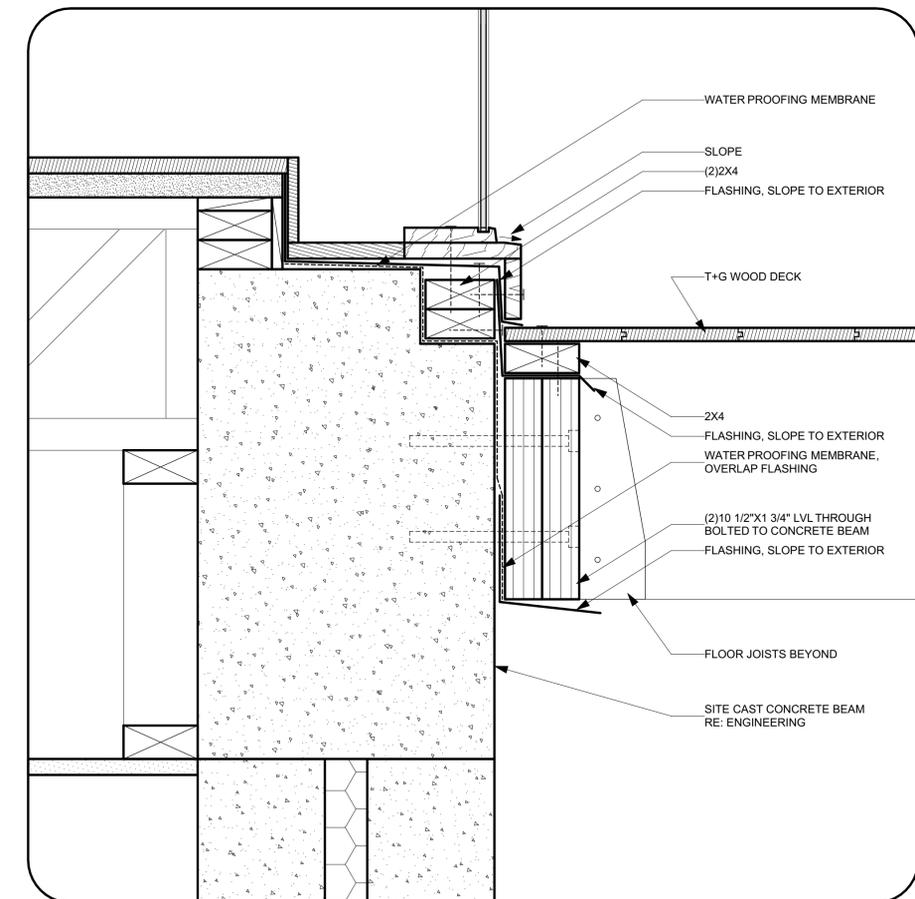
4 WINDOW LEDGE @ MAIN HOUSE WEST
SCALE: 3" = 1'-0"



3 SKYLIGHT @ PRINCIPAL BATH.
SCALE: 1 1/2" = 1'-0"



2 WINDOW LEDGE @ MAIN HOUSE SOUTH
SCALE: 3" = 1'-0"



1 WINDOW LEDGE @ MAIN HOUSE EAST
SCALE: 3" = 1'-0"

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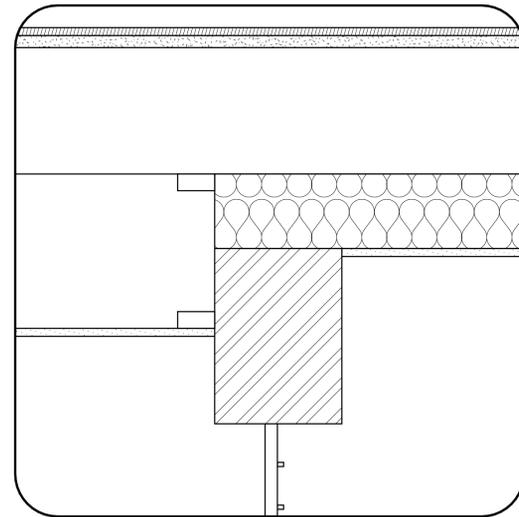
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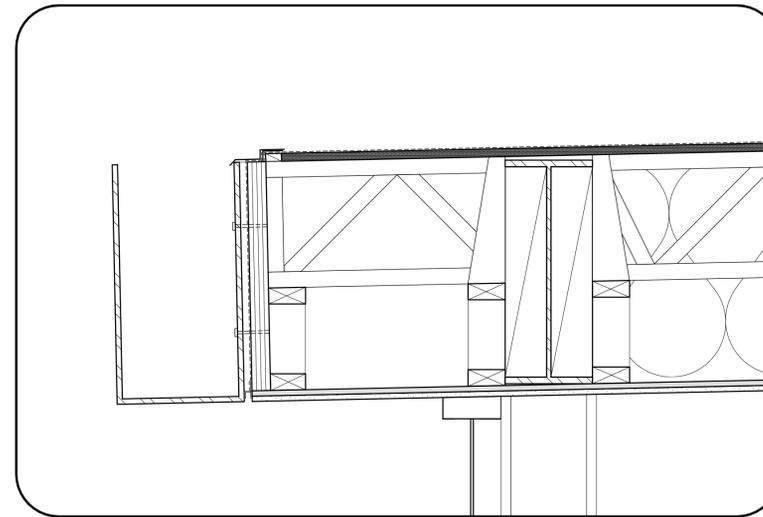
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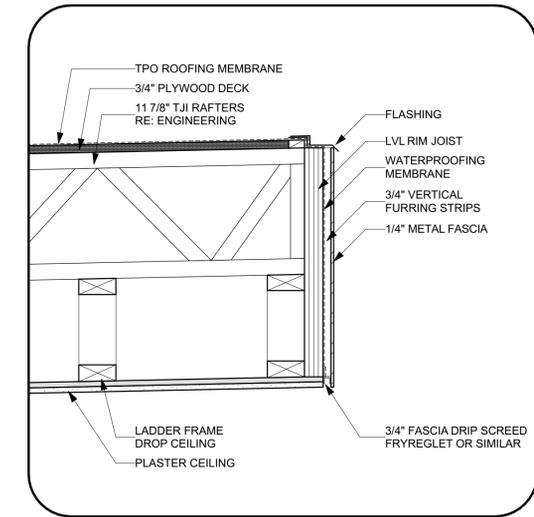
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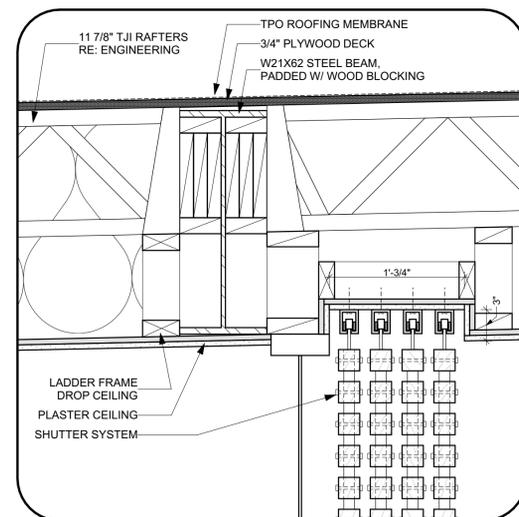
7 GARAGE DOOR HEADER
SCALE: 1 1/2" = 1'-0"



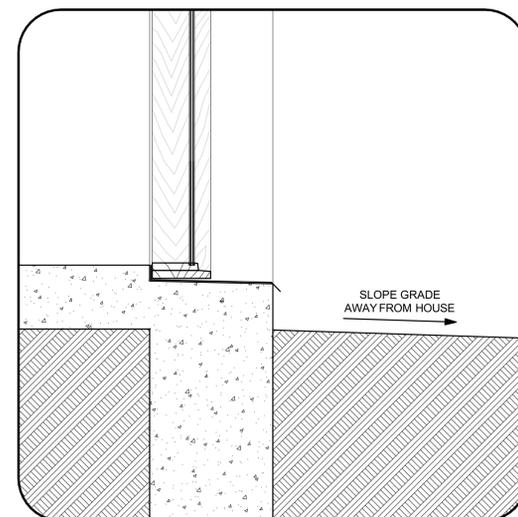
6 FASCIA @ GUTTER
SCALE: 1 1/2" = 1'-0"



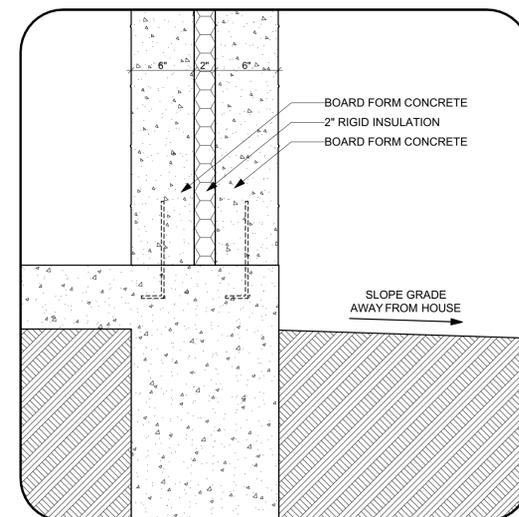
5 TYPICAL FASCIA
SCALE: 1 1/2" = 1'-0"



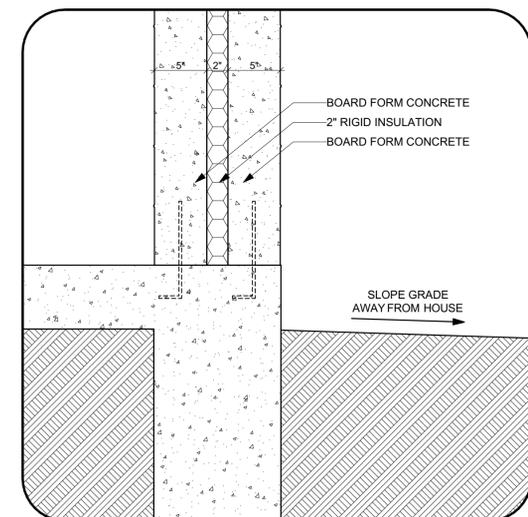
4 WINDOW HEADER @ MAIN HOUSE LVL 1
SCALE: 1 1/2" = 1'-0"



3 SLAB DROP @ WINDOWS
SCALE: 1 1/2" = 1'-0"



2 14\"/>



1 12\"/>

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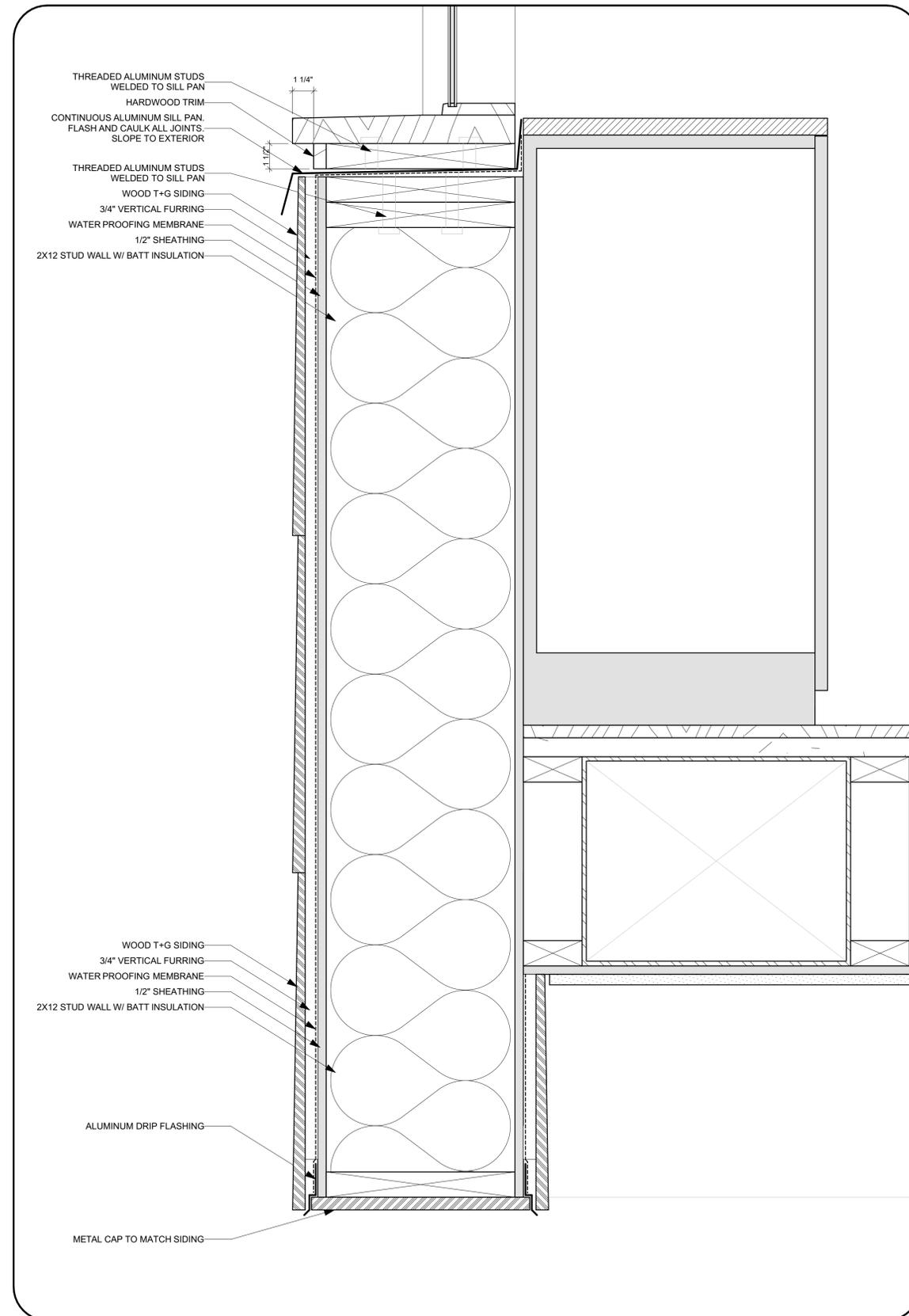
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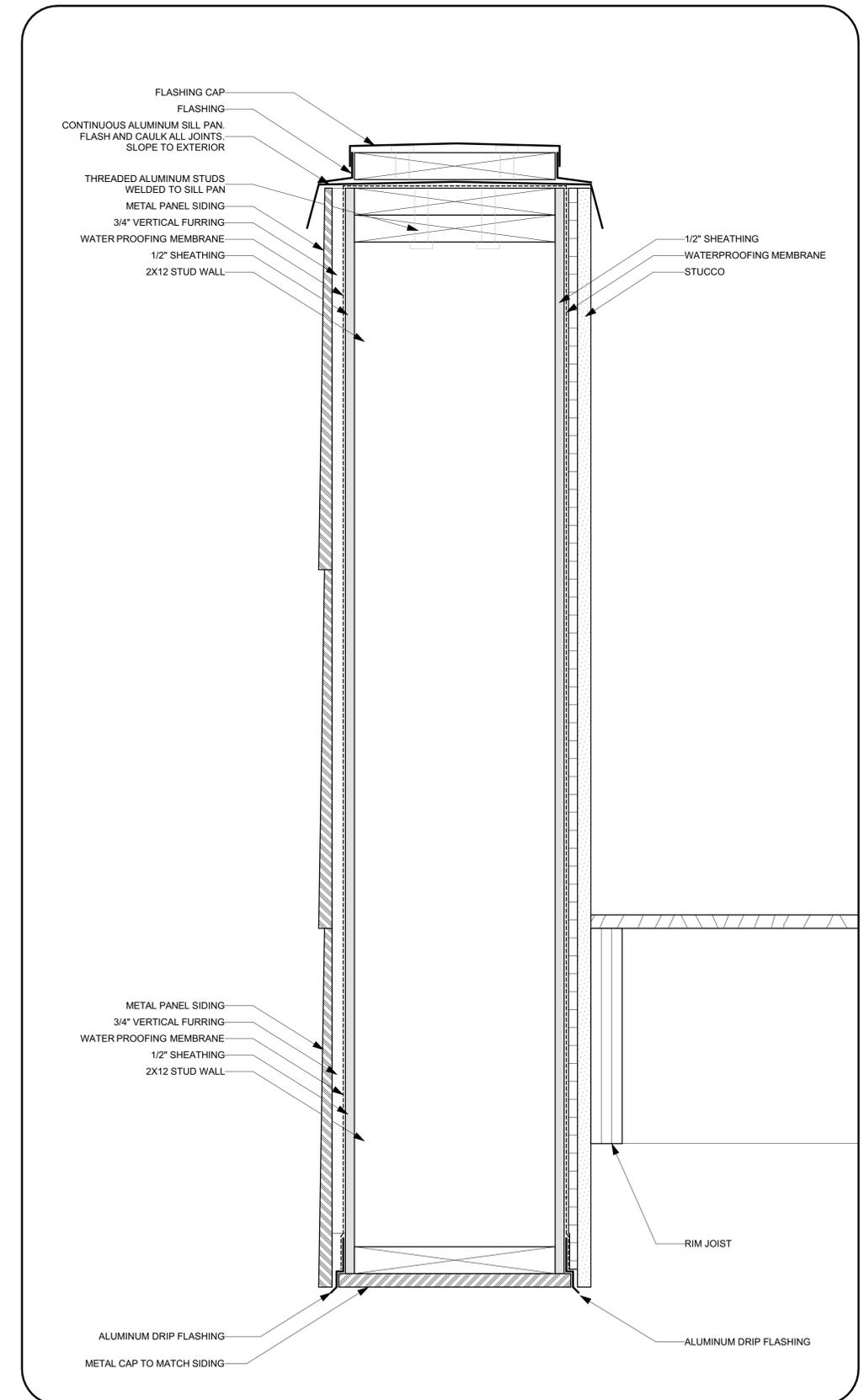
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2 OVERHANG WALL @ INTERIOR
SCALE: 3" = 1'-0"



1 OVERHANG WALL @ EXTERIOR
SCALE: 3" = 1'-0"

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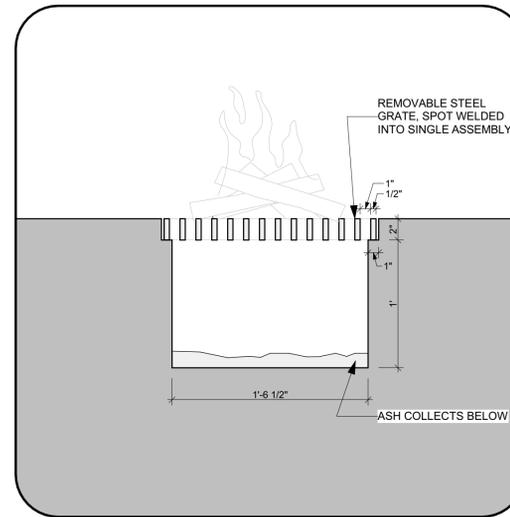
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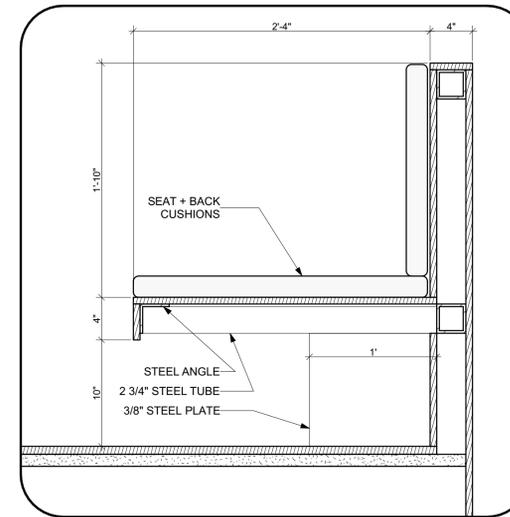
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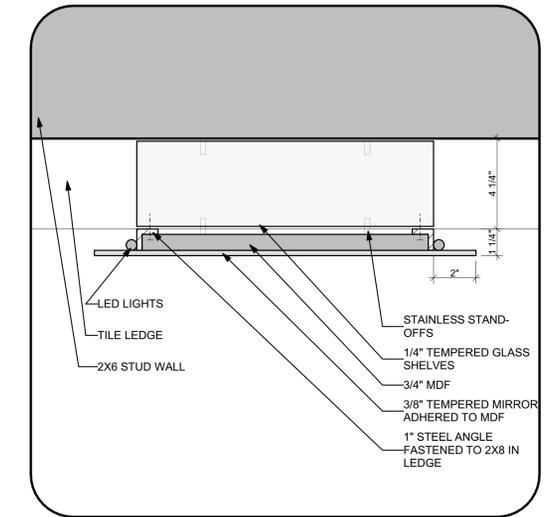
REVISIONS



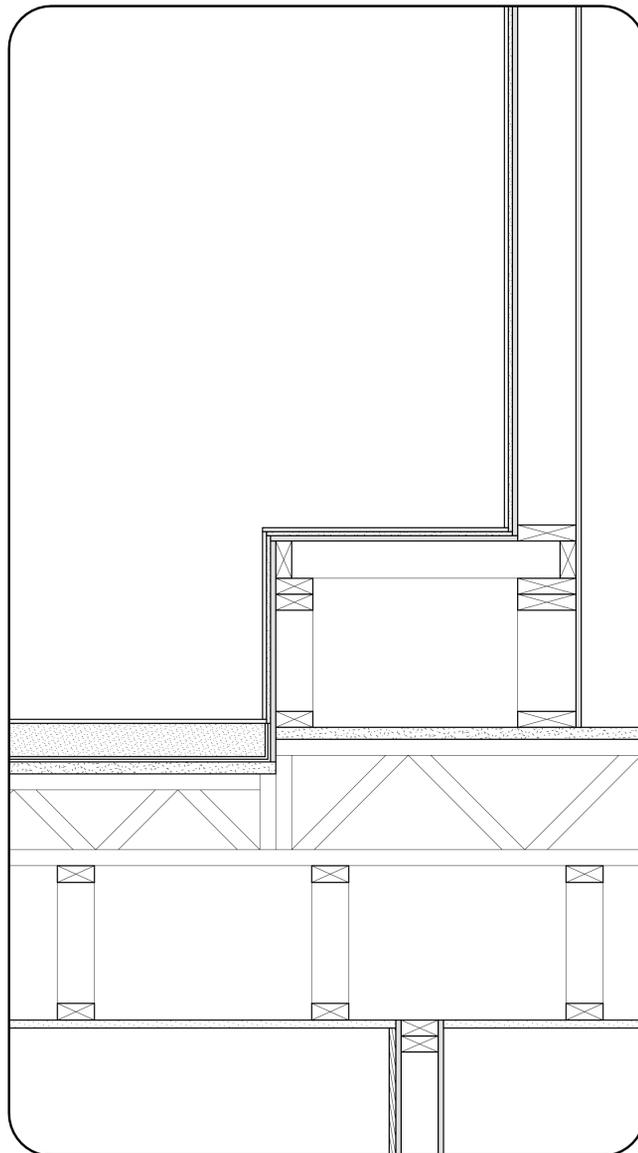
7 FIRE PIT GRATE
SCALE: 1 1/2" = 1'-0"



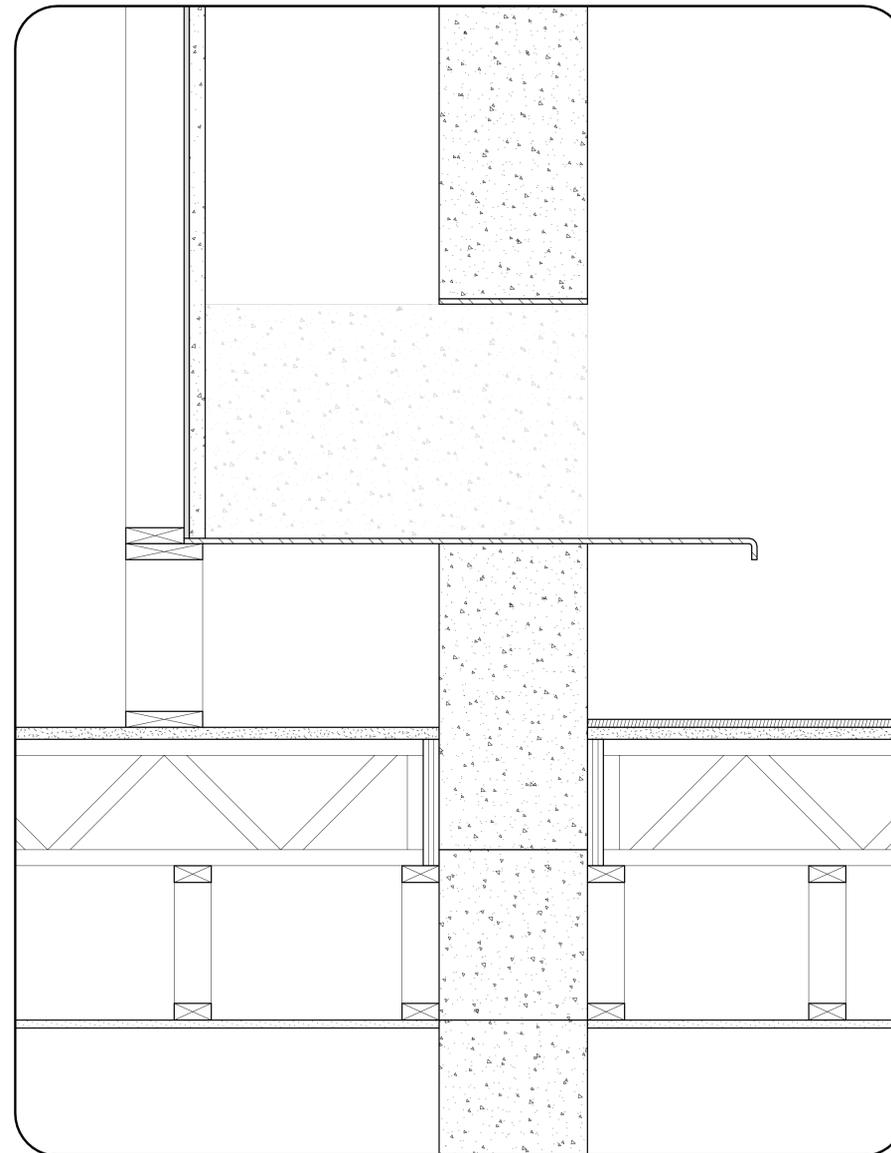
6 LOUNGE BENCH SECTION
SCALE: 1 1/2" = 1'-0"



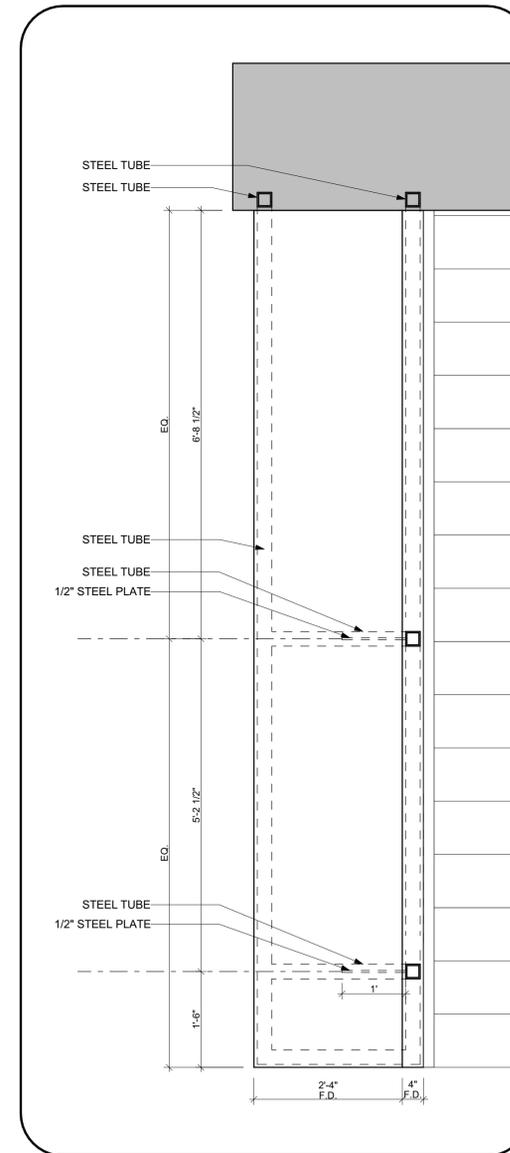
5 BATH. VANITY MIRROR
SCALE: 3" = 1'-0"



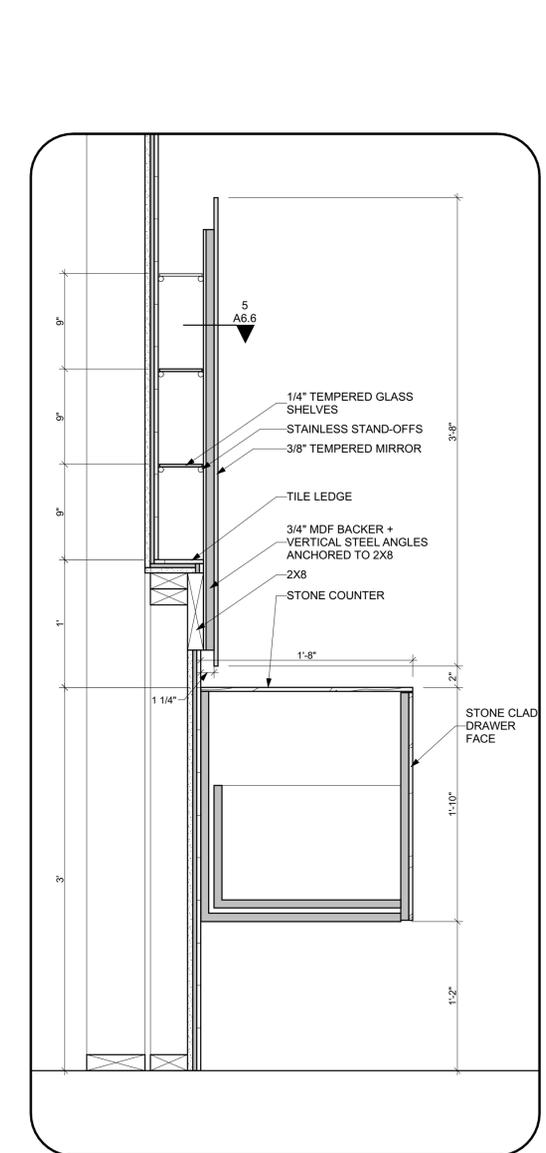
4 BENCH @ P. BATH SHOWER
SCALE: 1 1/2" = 1'-0"



3 FIREPLACE @ LOUNGE
SCALE: 1 1/2" = 1'-0"



2 LOUNGE BENCH PLAN
SCALE: 3/4" = 1'-0"



1 SECTION @ BATHROOM VANITY
SCALE: 1 1/2" = 1'-0"

WINDOW SCHEDULE - MAIN HOUSE

SCHEDULE NOTES

West Tisbury
130 Little Homer's Pond Rd Lot 4
West Tisbury, MA

NOT FOR CONSTRUCTION

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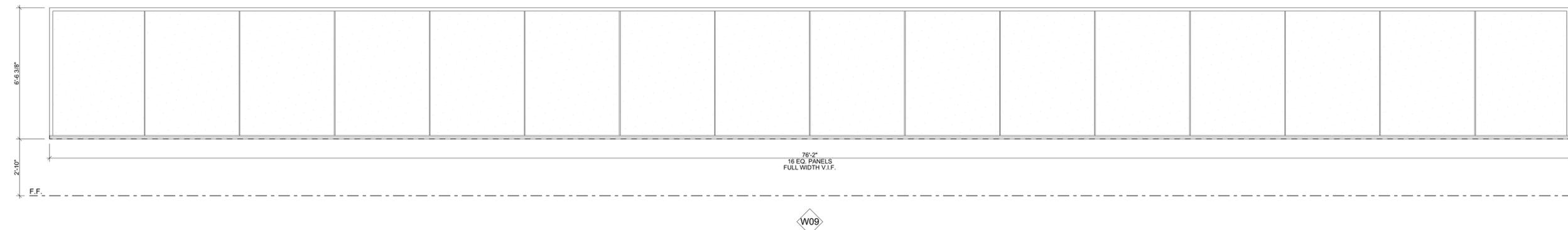
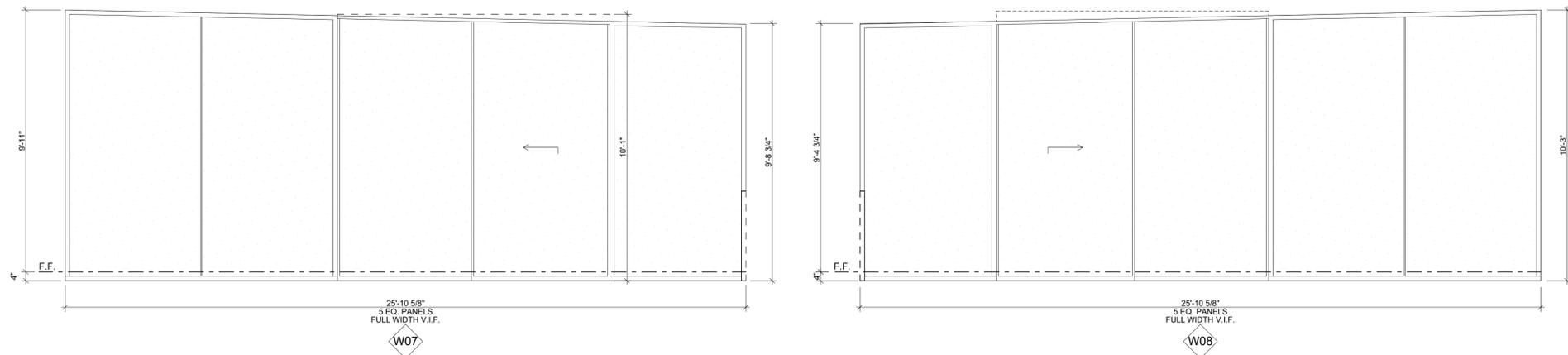
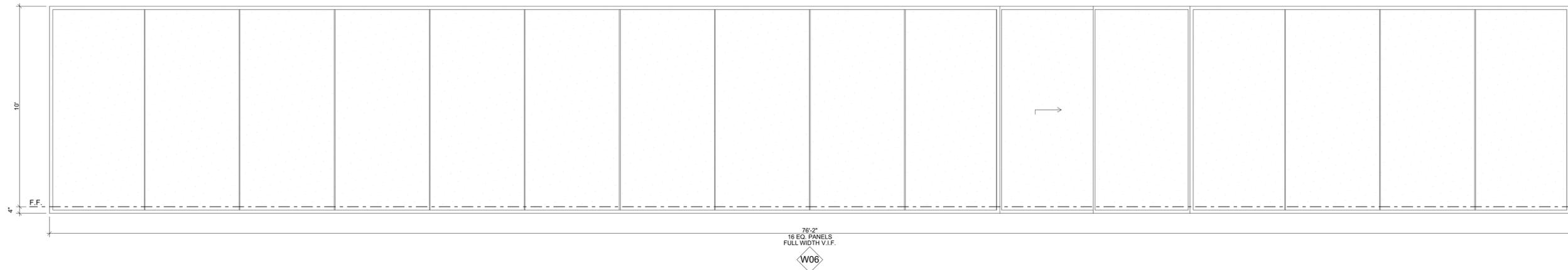
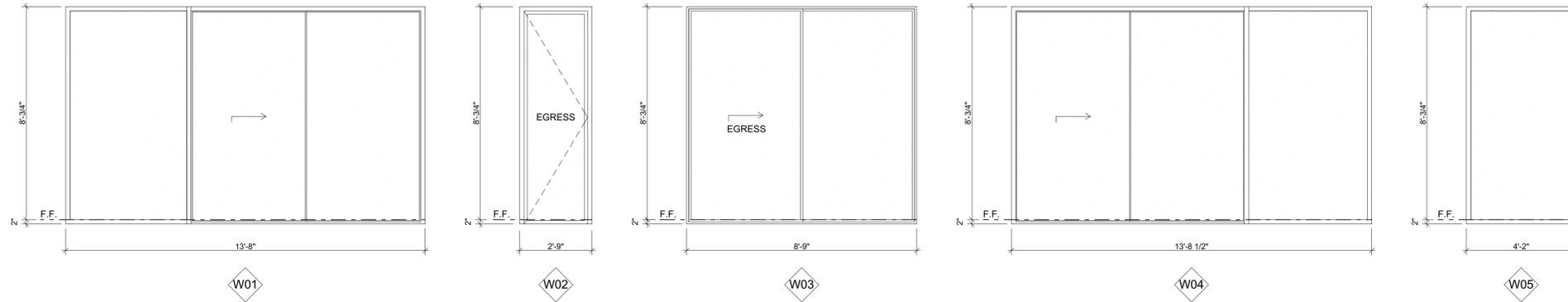
REVISIONS

- 1) CONTRACTOR TO SUBMIT DRAWINGS OR SAMPLES SHOWING TYPICAL DOOR DETAIL PROFILES AND DIMENSIONS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
- 2) CONTRACTOR TO SUBMIT SAMPLES OF ALL DOOR GLASS FILM TO ARCHITECT PRIOR TO PURCHASE/ INSTALLATION
- 3) CONTRACTOR TO PROVIDE COST ALLOWANCE FOR ALL HARDWARE WHICH WILL BE SELECTED DURING CONSTRUCTION BY THE OWNER AND ARCHITECT THROUGH CONTRACTOR'S PREFERRED SUPPLIER

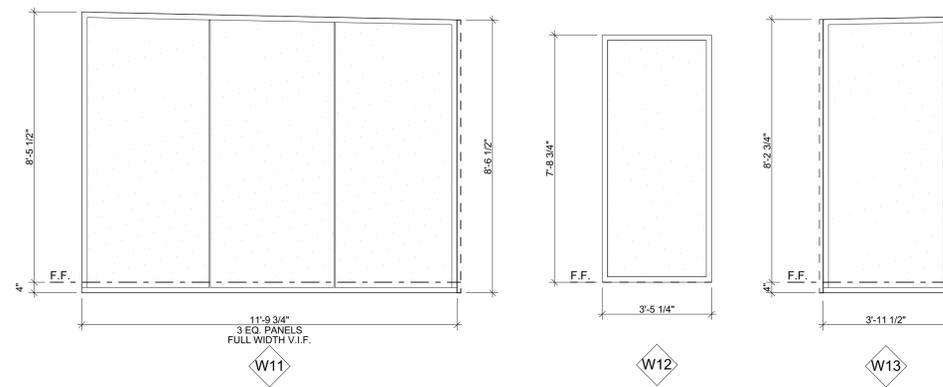
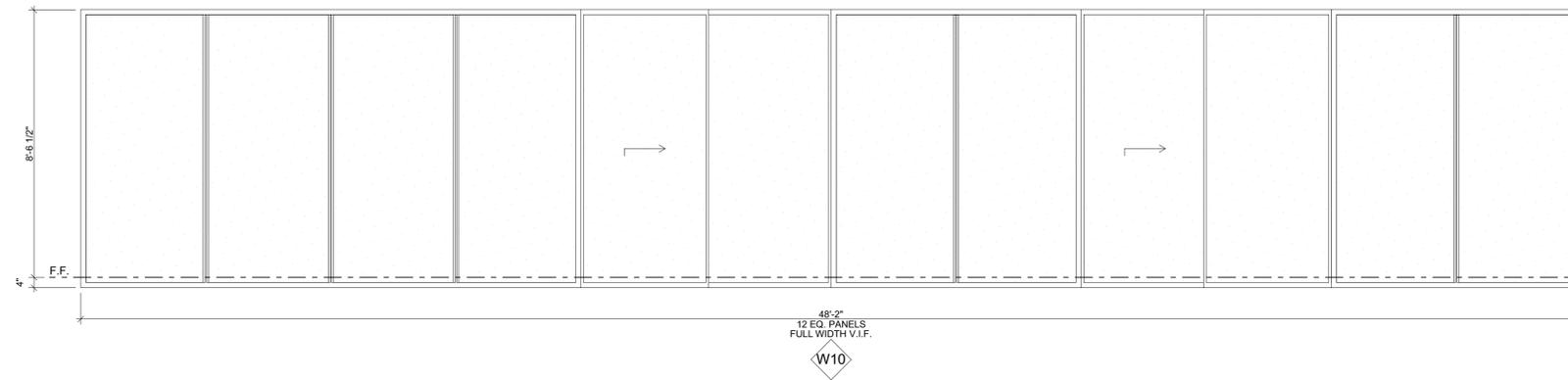
ACTUAL GLAZING SYSTEM TO BE DESIGN BY A QUALIFIED INSTALLER/SUPPLIER. ALL WINDOWS AND FRAME DIMENSIONS ARE NOMINAL. CONTRACTOR TO FIELD VERIFY AND COORDINATE ROUGH AND FINISH OPENINGS.

DO NOT ORDER WINDOWS OFF OF THESE DRAWINGS. CONTRACTOR TO VERIFY ALL SIZES.

CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL TEMPERED AND NON-TEMPERED GLASS AS WELL AS COORDINATE EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL GLAZING SPECIFICATIONS MEET ALL ENERGY CODE REQUIREMENTS.



WINDOW SCHEDULE - GUEST HOUSE



SCHEDULE NOTES

- 1) CONTRACTOR TO SUBMIT DRAWINGS OR SAMPLES SHOWING TYPICAL DOOR DETAIL PROFILES AND DIMENSIONS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
 - 2) CONTRACTOR TO SUBMIT SAMPLES OF ALL DOOR GLASS FILM TO ARCHITECT PRIOR TO PURCHASE/ INSTALLATION
 - 3) CONTRACTOR TO PROVIDE COST ALLOWANCE FOR ALL HARDWARE WHICH WILL BE SELECTED DURING CONSTRUCTION BY THE OWNER AND ARCHITECT THROUGH CONTRACTOR'S PREFERRED SUPPLIER
- ACTUAL GLAZING SYSTEM TO BE DESIGN BY A QUALIFIED INSTALLER/SUPPLIER. ALL WINDOWS AND FRAME DIMENSIONS ARE NOMINAL. CONTRACTOR TO FIELD VERIFY AND COORDINATE ROUGH AND FINISH OPENINGS.
- DO NOT ORDER WINDOWS OFF OF THESE DRAWINGS. CONTRACTOR TO VERIFY ALL SIZES.
- CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL TEMPERED AND NON-TEMPERED GLASS AS WELL AS COORDINATE EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL GLAZING SPECIFICATIONS MEET ALL ENERGY CODE REQUIREMENTS.



DOOR SCHEDULE

ID	TYPE	DOOR	
		W	HT
D01	OVERHEAD GARAGE DOOR	21'-11"	8'
D02	INTERIOR HINGE	3'	8'
D03	INTERIOR HINGE	3'-6"	8'
D04	POCKET	2'-6"	8'
D05	GLASS SHOWER HINGE	2'-6"	8'
D06	POCKET	4'	8'
D07	POCKET	3'	8'
D08	INTERIOR HINGE	2'	8'
D09	POCKET	3'-6"	8'
D10	POCKET	2'-4"	8'
D11	GLASS SHOWER HINGE	2'-6"	8'
D12	POCKET	4'-8"	10'
D13	2 PANEL POCKET DOOR	5'-2 1/2"	9'-6 1/2"
D14	PIVOT	2'-8"	8'
D15	POCKET	2'-6"	9'-7"
D16	POCKET	3'-8 1/2"	8'-7"
D17	3 PANEL SLIDING	7'-4 1/4"	8'-5"
D18	GLASS SHOWER HINGE	2'-6"	8'-3 1/4"
D19	POCKET	3'-6"	8'-7"
D20	POCKET	2'-8"	8'-6"
D21	GLASS SHOWER HINGE	2'-6"	7'

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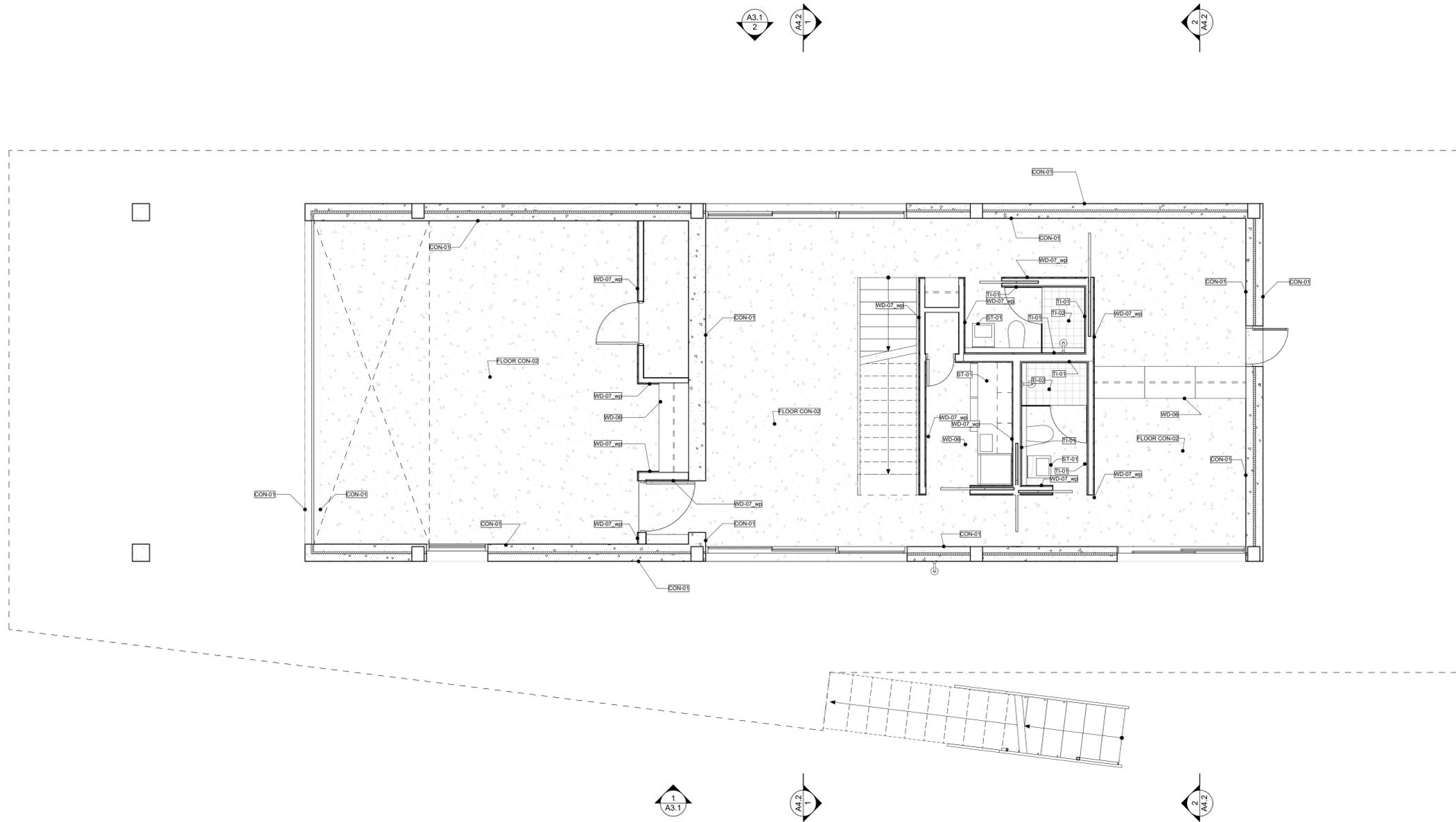
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1 MAIN HOUSE GROUND FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"

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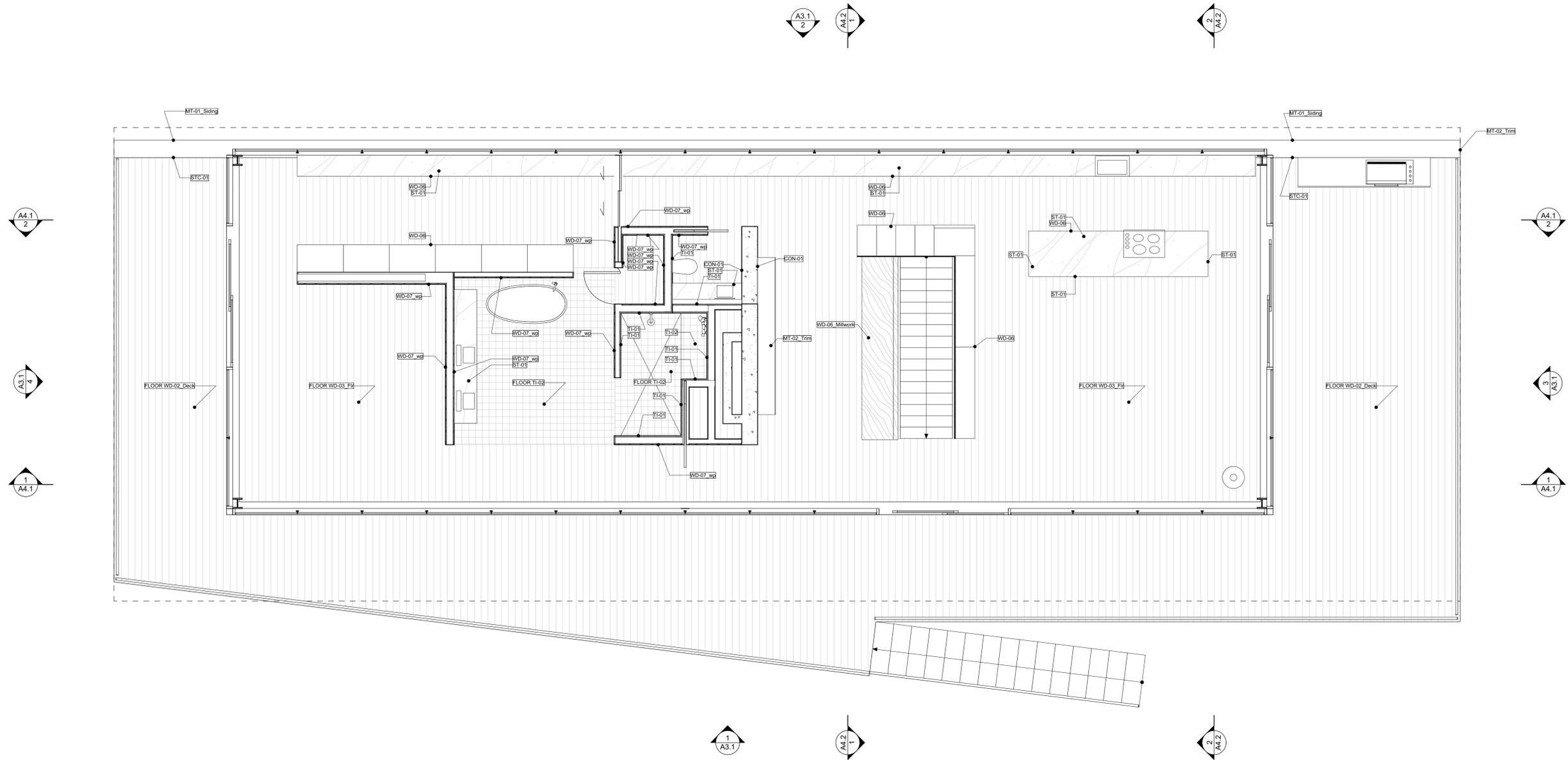
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1 MAIN HOUSE LEVEL 1 FINISH PLAN
SCALE: 1/4" = 1'-0"

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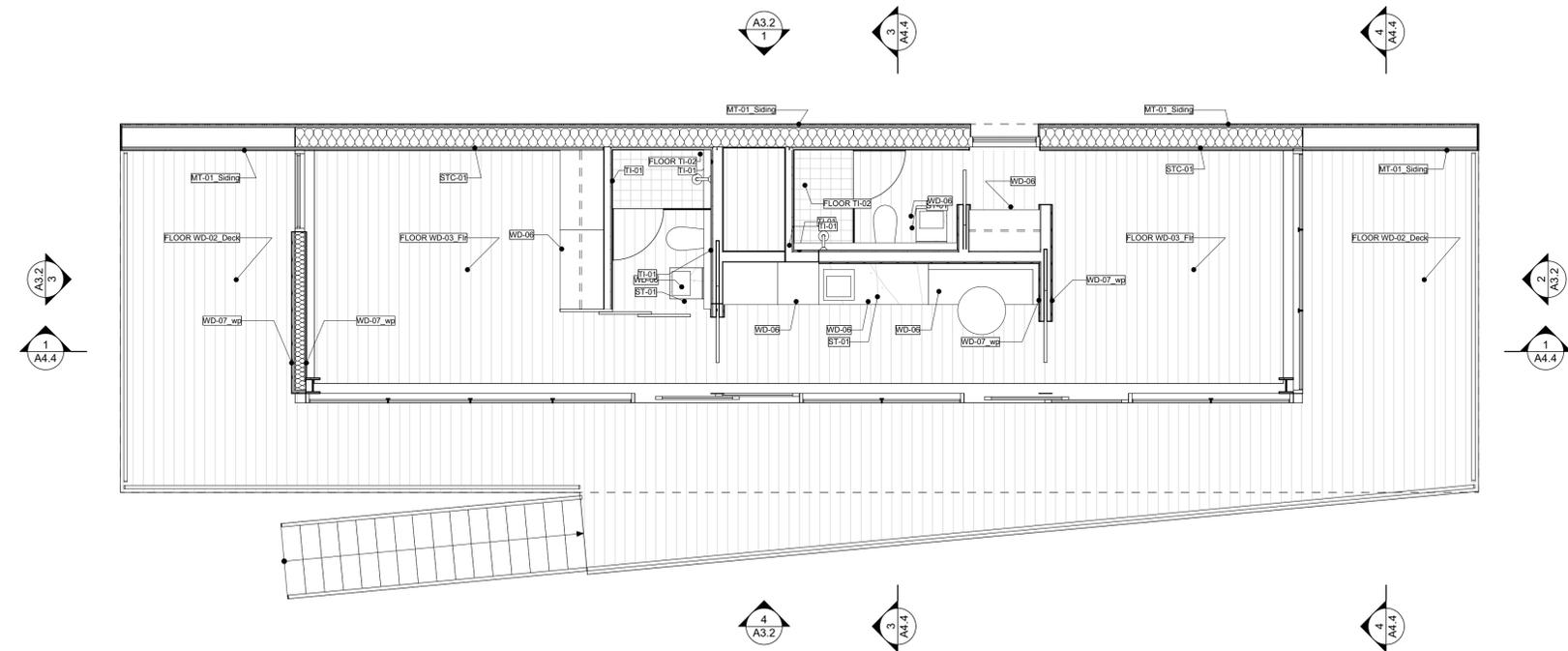
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1 GUEST HOUSE FIRST FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"

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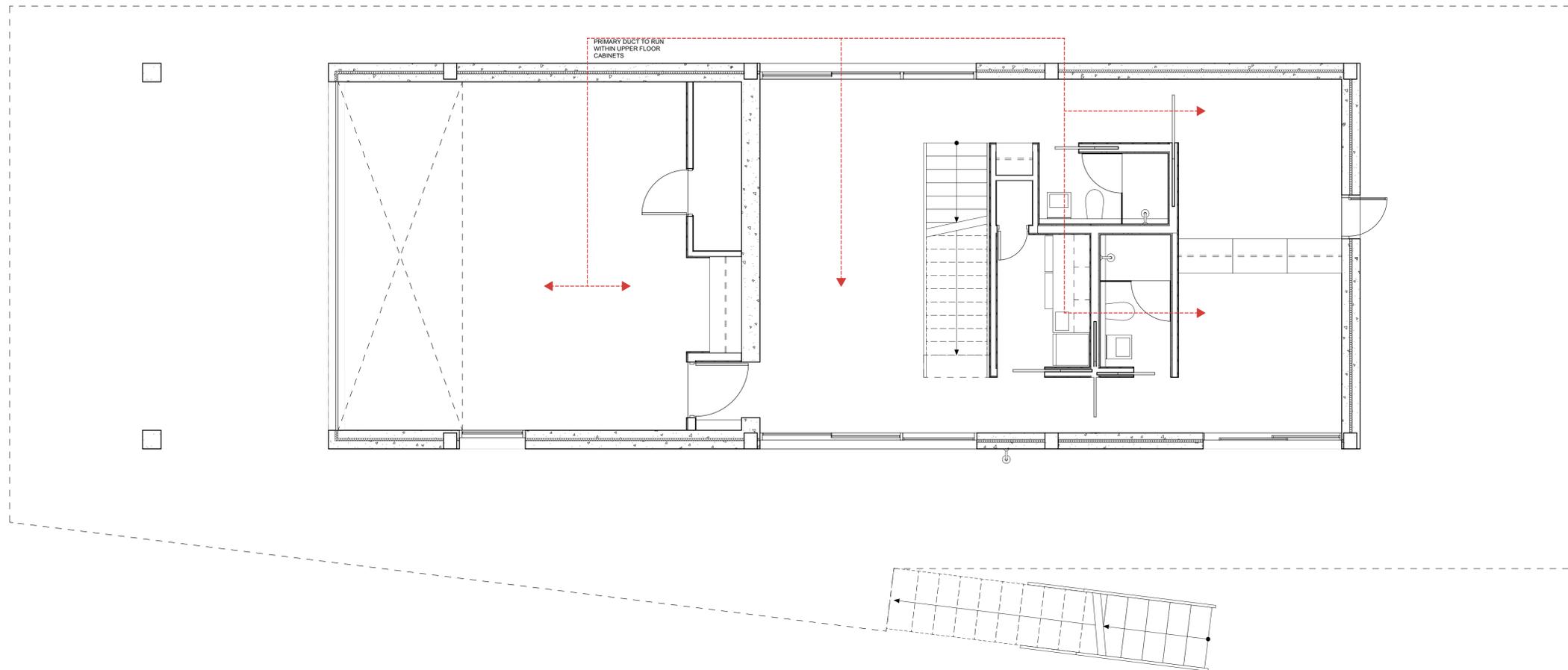
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1 HVAC COORDINATION PLAN
SCALE: 1/4" = 1'-0"